

**CITY OF RYE
1051 BOSTON POST ROAD
RYE, NY 10580
AMENDED AGENDA**

**REGULAR MEETING OF THE CITY COUNCIL
Wednesday, June 15, 2022
7:30 p.m.**

The meeting will be held either in person or via zoom video-conferencing with no in-person location depending upon whether or not Governor Hochul extends the emergency order that allows for virtual public meetings. Please check the City website before the Council meeting where the location will be posted once determined.

Residents may email comments regarding the public hearing to: **publichearingcomments@ryeny.gov**. All comments must be received by 4:15 pm on the day of the meeting. The subject of the email should reference the hearing topic. Please include your name and address.

[The Council will convene at 6:30 p.m. and it is expected they will adjourn into Executive Session at 6:31 p.m. to discuss pending litigation, personnel matters and pending contracts.]

1. Pledge of Allegiance
2. Roll Call
3. Draft unapproved minutes of the Regular Meeting of the City Council held May 25, 2022.
4. Post Ida Storm Update.
5. Update regarding pricing on Westchester Power Community Energy program.
6. Resolution authorizing the expenditure of money from General Funds Unassigned Fund Balance to pay for new equipment for a new and advanced radio system provided through the Metropolitan Transit Authority
7. Continue the public hearing for consideration of a petition from The Miriam Osborn Memorial Home to amend the text of the City of Rye Zoning Code Association to create new use and development standards for “Senior Living Facilities” in the R-2 Zoning District.
 - a. Consideration of a resolution approving a SEQRA Negative Declaration and approving a proposed local law proposed to amend the text of the City of Rye Zoning Code to create new use and development standards for “Senior Living Facilities” in the R-2 Zoning District.

8. Open the public hearing for a waiver request from the existing rock removal moratorium from Fletcher Development.
9. Residents may be heard on matters for Council consideration that do not appear on the agenda.
10. Consideration to refer to the BAR an application from DISH Wireless, LLC to modify an existing support structure for the installation of wireless communication equipment to support the 5G connectivity needs of residents, businesses, and first responders.
11. Consideration to refer to the BAR an application from Verizon Wireless for antenna work at the existing public utility wireless communications services facility at 66 Milton Rd.
12. Resolution consenting to the appointment of Mr. John B. Colangelo to the Emergency Medical Services Committee as the Village of Port Chester community representative for a 3-year term.
13. Resolution consenting to the appointment of Mr. Michael Borelli to the Emergency Medical Services Committee as the Village of Rye Brook community representative for a 3-year term.
14. Consideration of a request by the Municipal Boat Basin to have a food truck at its National Marina Day Event on July 17, 2022 from 1:00 pm to 3:00 pm with a rain date of July 31, 2022 in coordination with high tide. This event will consist of activities for children with a food and ice cream truck as well as live music.
15. Consideration of a request by Christ's Church to switch the use of Rectory Streets from 8:00-5:00 pm for CCNS Fall Family Day from 10/15/22 to 10/22/22 due to conflict with Novel Night.
16. Appointments to Boards and Commissions by the Mayor with Council approval.
17. Old Business/New Business.
18. Adjournment

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The next regular meeting of the City Council will be held on Wednesday, July 13, 2022 at 6:30 p.m.

** City Council meetings are available live on Cablevision Channel 75, Verizon Channel 39, and on the City Website, indexed by Agenda item, at www.ryeny.gov under "RyeTV Live".

DRAFT UNAPPROVED MINUTES of the
Regular Meeting of the City Council of the City of
Rye held in City Hall on May 25, 2022, at 6:30 P.M.

PRESENT:

JOSH COHN, Mayor
EMILY HURD (joined at 8:56 P.M.)
CAROLINA JOHNSON
JOSHUA NATHAN
JULIE SOUZA
Councilmembers

ABSENT:

BILL HENDERSON

The Council convened at 6:30 P.M. by videoconference pursuant to the NYS Legislature waiving requirements of the Open Meetings Law. Councilman Stacks made a motion, seconded by Councilwoman Souza, to adjourn briefly into executive session to discuss litigation and personnel matters. The Council reconvened in a public videoconference at 7:30 P.M. The meeting was streamed live at www.ryeny.gov for public viewing.

1. Roll Call.

Mayor Cohn opened the City Council meeting with a moment of silent for the recent tragedies that took place in Uvalde, Texas, and Buffalo, New York, and other communities victimized by horrific mass shootings.

The City Clerk called the roll; a quorum was present.

2. Draft unapproved minutes of the Regular Meeting of the City Council held May 11, 2022.

There were non-substantive changes made to the minutes as suggested by Mayor Cohn.

Councilwoman Souza moved to approve the minutes, and Councilwoman Johnson seconded the motion. The City Council meeting minutes for April 23, 2022, were unanimously approved.

3. Consideration of a request by Rye City Rotary and Rye Arts Center to install the public butterfly sculpture project.

Michelle Thomas joined the meeting and explained that the butterfly sculptures would be displayed on the Village Green from around July 1st to mid-September, at which point they would be sold. Ms. Thomas stated the butterflies will be auctioned online over the summer as they were last year. Mayor Cohn thought last year's event was wonderful and supported its return in 2022.

Councilwoman Souza made a motion to approve the installation of the public butterfly sculpture project on the Village Green, seconded by Councilmember Stacks, and unanimously carried by the Council.

4. Post Ida Storm Update.

Mayor Cohn said there had been a three-hour work session to review Ramboll's preliminary report on the Blind Brook watershed, and that the City-sponsored effort ran parallel to the Department of Environmental Conservation's study and the Army Corps' study of the watershed. Mayor Cohn explained Ramboll's characterization of the Blink Brook stream as "flashy," meaning rapid rates of flow, increase and decrease during runoff events, high peak discharges, low base flows, and often high concentration of non-point pollutions. The mayor explained that impervious surfaces contribute to a stream's flashiness.

Mayor Cohn reminded the Council of its decision to focus on the following projects for further study: upstream impoundments for flood water, expansion of upper Bowman Pond, raising the height of Bowman Dam, and renovation of lower Bowman Pond. The mayor stated the twin culverts under I-95 and Metro North are problematic and may contribute to flooding in the immediate Indian Village area, and if removed or enlarged may contribute to flooding in the central business district of the Blind Brook corridor.

Mayor Cohn stated that the culverts need a large-scale, holistic plan worked into the Army Corps study, and the DEC will provide comments on the culverts and their effect on the Blind Brook channel. Mayor Cohn stated Mamaroneck has pursued Army Corps attention since 2007 with consistent planning and political action; Rye did not pursue such an effort until 2019 when the City renewed Rye's relationship with the Army Corps with a \$350,000 starter fund arranged by Senator Schumer.

City Manager Greg Usry confirmed Ramboll was currently addressing the check list of items from the Council and will return with refinements and calculations in the coming weeks. Mr. Usry said the City awaits responses to an RFQ for a funding consultant for federal, state, and FEMA-based funding. A recommendation for a consulting firm should be provided at the June 15th Council meeting.

City Manager Usry stated that comments were submitted to the Council by SLR regarding the Webb Avenue development located in the Town of Harrison, which was a procedural matter related to FEIS, and the same was provided on the DEIS preliminary report. Comments were exchanged between Rye Brook and the City of Rye, and everything was on record with the Harrison Planning Board.

5. Update on City Stormwater Review.

Superintendent of Public Works Ryan Coyne created a summary of non-Blind Brook areas of Rye that flooded during Henri and Ida and were not designed for extreme rainfall. Mr. Coyne anticipated the items may involve Council action later in the year, or in conjunction with the fall bond referendum. Mr. Coyne presented a summary of the flooded roads in need of drainage upgrades. Firstly, at Boston Post Road, there could be a secondary overflow pipe, and his team was working on concepts to replace or relocate pipes through several backyards. Boulder Road drains through a pipe on residential properties on the south side of Boulder, and the pipe was being

cleaned and relined. Leading into that pipe was a pipe on Forest Avenue that needed to be enlarged to prevent flooding. The zigzagged pipe on Drake can be fixed with a new 50-foot pipe. Hix Park was a bit more involved, requiring possible separation and enlargement of drainage pipes located on residential properties. The deep pipe in rocky terrain on Kirby Lane North will be difficult to replace. Terrible flooding after Ida at the pump station on Kirby Lane North prompted the City to try to raise funds to raise the pump station components through the FEMA hazard mitigation. Another option was to raise Kirby Lane North to keep water off the road.

Mayor Cohn asked where the water goes if the road was raised, and Mr. Coyne replied that the idea was to install drainage pipes on top of the existing road that allows water to move freely between the north and south sides of Kirby Lane North. Mr. Coyne stated none of the hydrology would change, but the raised road would maintain vehicle access. He explained that Lasalle Avenue drains water away from Glen Oaks to a low point which was a common theme in the presented projects. A larger pipe was needed to drain water back out to Glen Oaks to prevent regular flooding on Lasalle but will not prevent flooding in a storm like Ida.

Mr. Coyne explained that while the City does not own Mead Pond, located behind homes on Marlene Court, it does own the pipe in the pond that takes in water and frequently becomes clogged; he said that a better outlet control structure should be installed. Westchester County owns Midland Avenue and will be addressing flooding problems near Peck and north on the Port Chester side with drainage replacement. Mr. Coyne stated the City owns the pipe until Milton Road and was designing permitting for stream bank restoration through the cemetery. A small pipe needs that drains Sanford Street and Roosevelt through Playland parking lot and out to Playland Lake needs to be enlarged.

City Manager Usry stated that there were no decisions to be made by the Council at this time, and DPW will work over the next 12-18 months to identify projects for DPW. He believed larger projects may be included in a budget request, the CIP, or a bond referendum authorization.

Mr. Coyne clarified for Councilman Nathan that most of the options for the projects are either/or, not cumulative, except for Boulder Road, and that all of the water will still flow to Blind Brook. DPW was investigating ways to keep tidal water from flooding back into the pipe, and better drainage on residential properties on the watershed. Mayor Cohn reiterated the point about Blind Brook being flashy, capturing drainage from all the impervious surface that flows into drains starting at the airport.

6. Continue the public hearing for consideration of a petition from The Miriam Osborn Memorial Home to amend the text of the City of Rye Zoning Code Association to create new use and development standards for “Senior Living Facilities” in the R-2 Zoning District.

Mayor Cohn underscored that in a zoning review the Council provides fundamental parameters for development in zoning and do not invade the Planning Commission's jurisdiction over site planning. The mayor stated that any plan the Osborn wishes to pursue will be required to go through a public site planning process.

The following people joined the meeting on behalf of the Osborn: attorney Steven Wrabel, McCullough, Goldberger & Staudt; Matt Anderson, President and CEO; Andrew Tung, civil engineer and planner; Michael Gallante, traffic engineer.

Mr. Wrabel stated that the drawings submitted to the Council are illustrative concept plans provided in response to the Council's request. They are not official site plans or actual proposed plans, which would happen after the zoning is established. Mr. Wrabel presented an aerial photo of the Osborn site, highlighting the 160-foot setback from surrounding lots. While the Osborn resides in the R2 district, its current zone was dictated by a declaration of covenants and restrictions established in 1993. The declaration states that the Osborn can establish a building of up to 75 feet within the 160-foot setback. The Osborn was not requesting a change of use or zoning designation but was requesting a new special permit use within the R2 district to formalize zoning for the Osborn and change some of the existing zoning standards. The Osborn was asking the Council for additional flexibility on floor area ratio and site coverage.

Mr. Wrabel stated the Planning Commission was concerned about preserving the green space on Osborn Road that abuts the Osborn property and proposed an increased setback from Osborn Road from 160 feet to 240 feet. Also proposed was an increased tiered setback for five-story, 75-foot buildings, and reduced the setback area from 60 feet to 100 feet. This plan was brought the Council in the beginning of 2020 and another revision was made that increased setbacks to 300 feet from Osborn Road and over 500 feet for five-story buildings, and a decrease in the permitted height from 75 feet to 65 feet for five-story buildings. After further discussions with Council, the Osborn has incorporated significant landscaping language into the zoning ordinance, parking setbacks 240 feet away from Osborn Road, 100 feet from Boston Post Road, and evergreen screen requirements for parking.

Mr. Anderson gave an overview of the Osborn's function in the Rye community. The Osborn is a nonprofit organization that provides a home for many seniors and hosts a variety of public events. Over the last three and a half years the Osborn has engaged the community for feedback about changes to the property. Stormwater management has been a high priority for residents and neighbors, and there was potential for greater stormwater collection at the Osborn campus. The Osborn became a designated arboretum in 2019 with over 1,000 trees and 100 different species, and the organization remains committed to their designation.

Mr. Anderson stated that an updated traffic study was submitted to determine the effect of proposed zoning on surrounding roadways, and it was determined only five additional cars would pass in front of the Osborn School during any peak hour. As much as 70% of current Osborn traffic travels to and from the Playland Park area and has minimal impact on the Osborn School area. The Osborn will contribute to a future traffic study, as well as coordinate with school administration to address future traffic, noise, and development concerns.

To address concerns about taxes, Mr. Anderson confirmed the Osborn paid \$2.3 million in taxes, the second-highest taxpayer in Rye. The Osborn anticipates increased tax revenue to the City and the school district resulting from future development of the property. As far as construction concerns, workers will park at the Osborn and not on roadways. Mr. Anderson also stated that the Osborn proposed to lower the FAR from 0.45 to 0.43, change the maximum

impervious site coverage from 35% to 33%, decrease the height of four-story buildings from 60 feet to 55 feet, and limit buildings within 400 feet of Osborn Road to three stories at 45-foot height.

Mr. Anderson explained, upon Councilwoman Johnson's request, the purpose of the clubhouse at the Osborn. He stated the clubhouse would be a public space that the Osborn would like to expand with more amenities and meeting space.

Mr. Tung explained for Councilwoman Souza how the Osborn makes decisions about impervious surfaces and flooding. Mr. Tung stated the Osborn controls all water flow from the campus in its position atop the watershed. Safety, usage, and maintenance are considered when choosing appropriate road surfaces. For example, pervious surfaces are used in low-usage parking lots. Rain gardens and other green infrastructure can be used to blend the stormwater management function. Mr. Tung was confident that the Osborn was committed to reducing impervious surfaces.

Mr. Tung confirmed for the mayor that the purpose of the basin was to hold water while sediment settles and manage the flow to the surrounding City system. Councilmember Johnson asked if infrastructure upgrades are needed to accommodate new residents, and what opportunities are available to improve the infrastructure. Mr. Tung replied that the sanitary sewer system has been analyzed and the Osborn has four connections to the City system and are able to manage future flows to the portion of the system that can best accommodate the flows. Mr. Tung stated that in the future, Rye may request any additional flows to the system to help contribute to the upkeep and improvement of the system where appropriate, and the Osborn would contribute to the upgrades as appropriate.

Councilman Nathan asked how the Osborn planned to handle the cottage portion of the property. Mr. Anderson replied that the garden homes were not currently a part of the plan, but any changes would require a careful consideration in a phased process that could take several years.

Mr. Anderson reiterated the aspects of the Osborn that benefit the larger neighborhood for Councilman Nathan. Mr. Anderson stated that a single-site retirement communities are becoming rare, which motivates the Osborn to evolve so it can continue to thrive. The proposed zoning would protect the green spaces and the neighbors and residents that enjoy them. The clubhouse would replace the auditorium and dining spaces that have closed due to COVID concerns. There are inter-generational activities with Osborn School that benefit the community.

Mr. Wrabel confirmed for Councilman Nathan that preserving the aesthetics from the outside of the campus was of utmost importance, and there was potential in the green space for passive recreation use like gardening or a walking path.

Ms. Wilson recommended that if the Council would like to see the Osborn's plan made part of local law the public hearing should be kept open until June 15th so the public may review the revised law, and revisions should be sent to the City as soon as possible to be posted online.

Councilman Stacks stated there has been trepidation in the community about construction that could last 10 years. Mr. Anderson replied that construction would be completed in phases to

mitigate construction disturbances. Mayor Cohn asked for a revised map with a matrix of zoning requests and the evolution of the features through the multi-year process. Mr. Wrabel clarified for Councilmember Nathan that EMS chose not to take an offer of free space on the Osborn property, but the Osborn was optimistic about future opportunities with EMS.

Mayor Cohn opened the public hearing up to the community.

Katie Sibson, 125 Osborn Road, addressed the Council. She stated that she and her family live across the street from the Osborn and her children attend Osborn School. She noted the Osborn's A- rating by Fitch based on the debt of the organization. She spoke with an investment management professional who reviewed the Osborn's financials and found nothing concerning about the Osborn's financial liability or its ability to be competitive. She worried for her children and others that attend Osborn School who will endure constant distraction from construction. She felt the Osborn should not be given special approval despite their concessions to date.

Clifford Davis, attorney, stated he represented 17 families and submitted a letter on 4/4/22 on their behalf. He wondered why the Council had not mentioned the comprehensive master plan when analyzing the zone change. He maintained the Council should do its own analysis as to what will be good for the City, and what the impact will be when other corporations say they are outdated and need zoning changes to be competitive. He suggested a 3-D model be created. He said the project should not be rushed, but carefully analyzed according to the comprehensive master plan.

Emily Powers, 23 Coolidge Ave., addressed the Council. She said she was glad the Council was finally hearing the matter as the community demanded clarification about Osborn's plans, rather than granting a 50% increase in FAR being called "additional flexibility." She felt the Osborn wants to significantly increase the development. She said the community asked for scaled-back plans and just recently presented a plan showing demolition of low-profile condos and construction of high-rise buildings double their current profile in highly visible areas including near Osborn School. She asked the elected officials to continue to prevent the dramatic increase in commercial development at the center of a beautiful neighborhood and school system without considering what she felt was a one-sided proposal.

Rosalie Louw, 45 Osborn Road, supported the idea that businesses need to evolve to stay relevant, but in this case the Osborn might be asking for more than they need, so she did not support the rezoning as presented. She worried the Osborn was given too much leniency to build out their property without consideration of neighbors, and perhaps the floor area ratio should not be 0.42 or 0.43 for all 55 acres; there could be different standards for areas impacting the residential side.

Nicholas Louw, 45 Osborn Road, thanked the Council, Mr. Anderson, and Mr. Wrabel. He believed the threat of unscrupulous development was being preyed upon, that if the Osborn did not evolve then Rye would be faced with another Westmed. He thought the Council should fully understand the difference between what the Osborn wants versus what they need to survive over the next 5-30 years before they vote. He maintained the importance of the inner neighborhood cannot be paramount to that of the outer neighborhood.

Cole McKay, 10 Heritage Lane, also spoke about the issue of competitiveness. He was not sure what products or services are required to become and stay competitive. He wondered if the Osborn had empty rooms or a wait list, if they were profitable, and if they were able to product good products and services in their existing facilities and growing by another 95,000 square feet allowable under current zoning. He felt the real issue was not competitiveness, but growth for profit's sake, which did not benefit the community. He encouraged the Council to consider the long-term impacts and stay firm on current zoning instead of treating it like a rubber stamp issue. Councilmember Johnson objected to Mr. Lowe's use of the phrase "rubber stamp" in light of the time and effort already spent considering the issue. Ms. Wilson confirmed for Councilmember Johnson that the R2 zone can contain single-family residences.

Daniela Arrendondo, 5 Osborn Road, thanked the Council for their time and dedication and the representatives from Osborn for the review of what has happened so far in the process. She was most concerned about the construction near the school and the inadequate setbacks. She quoted Mr. Anderson that he wanted to preserve the main entrance of the site and the views of the historic buildings and quoted the Planning Commission's request that the proposal be sensitive to the adjacent Osborn School, consider two-story buildings near the property edges, increasing building heights toward the interior of the property. She did not see any of these changes in the proposal. She supported the idea of a marketing study before approving any changes.

Craig Haines, 2 Coolidge Avenue, said the community felt unheard with unaddressed concerns, and unrepresented. He did not agree with the Council considering the needs of one corporation despite countless letters of protest from its citizens. He felt the Osborn was confusing the conversation by talking about its 501 status when he argued that the proposed development was entirely for profit. He called the Osborn luxury condos for wealthy 55-year olds, not a senior living community. He urged the Council to represent the broader community's voice and vote no to the greedy interests of one powerful corporation.

Councilmember Souza voiced concern that the 400 Rye residents who live at the Osborn were being vilified by the tone of some of the comments both verbalized and written and encouraged the public to be respectful.

Emily Baldwin, 100 Glen Oaks, thanked the Council for their time. She said she finds everyone has been fairly flippant about the amount of time the construction will take. Over the next 10 years the children of the surrounding community will only know this disruption. Learning spaces should be sanctuaries. She stated that the threats the Osborn levied against Rye indicates a comprehensive master plan was necessary. She moved her children from an urban environment to not have apartment buildings looming over playgrounds, but this was the proposal. She felt the Osborn was increasing the risk of flooding without a history of offering support to the neighborhood in previous flooding.

Councilmember Souza again asked the public to refrain from vilifying any party in the matter.

John Leonard, 1 Apawamis Avenue, homeowner, and neighbor of the Osborn for more than 40 years, voiced his opinion that there should be more flexibility from all parties. He would

like the Osborn to retain the open campus approach, and for the buildings to be attractive enough to not need an evergreen screen. He suggested redrawing the map with more of the new construction toward the north and west sides of the property. 140-foot setback on the Westmed side was not needed, but maybe more on the Osborn Road side. He supported the Osborn's place in the community.

Robert November, 4314 Theall Road, President of the Osborn Residents Association, spoke on behalf of many of the 400 Osborn residents that support the adoption of this zoning variance. The Osborn residents need the organization to maintain economic viability and provide needed services, and that means adjusting to a more competitive environment. He thought the residents were confident that any plan devised would meet the requirements to stay viable.

Joe Rotundo, 5 Woods Lane, was opposed to the zoning amendment. He said his family and his neighbors do not want to experience years of construction-related noise, extra traffic, and disruption. While he understood the Osborn's rationale for the new project, it came at a fairly significant cost to the neighbors, so he asked the Council to vote no to the zoning request without consideration of proposal revisions.

Stacy Massey, 51 Soundview, appreciated the points made by Mr. Anderson and some of the changes made to the proposal, as well as that the construction parking would be contained within the Osborn. She believed the ask should be smaller, though she was not against construction. She also has a child about to start Osborn School does not want them experiencing the construction disruption. She supported growth as long as it did not impact the children.

(Councilmember Hurd joined the meeting at 8:56 P.M.)

Mary Anne Haines, 2 Coolidge Avenue, said that she and her husband submitted a letter earlier in the day to the Council. She apologized to Councilmember Souza in advance for her tone because she was angry and felt her community was angry. Over the last three years she and other neighbors have attended meetings and tours and written letters, and still they felt unheard. She thought the zoning was completely discretionary and the onus was on the Osborn to satisfactorily address all of the residents' and Council's concerns regardless of how long it takes. She submitted a fully signed petition of rejection and would appreciate its review, and Ms. Wilson acknowledged its receipt.

Monica Driscoll, 54 Drake, said she has children that attend Osborn School. She highlighted the importance of reducing construction disruption for the 600 students at Osborn School. She was not opposed to expansion but felt it should be reconsidered and reduced significantly, including moving the majority of construction away from the Osborn School. She noted that a recent letter from an Osborn board member to the Rye Record touted the benefits of the expansion without mentioning the elementary school, and she wanted to make heard the voices of children who cannot vote.

Sharon Mantel, 42 Colby Avenue, said she has children at Osborn School and their backyard was close to the Old Post Road and Boston Post Road intersection, so her family has a strong investment in the proposal. She appreciated Mr. Anderson's desire to protect the school and

was interested in keeping the Osborn relevant among senior living facilities. She felt the school should be protected from buildings looking down on it and ongoing construction causing the air and noise pollution. She was concerned about traffic and all the Osborn School families that travel down North Avenue. Construction trucks travel on the same roads as residents and will add to the significant backups and safety issues already occurring at Sonn Drive at one of the school entrances. She thought changes to the proposal should consider traffic safety and moving construction away from the school and abutting neighborhoods.

Sean Plummer, 111 Osborn Road, addressed the Council. He asked why the Council had not considered phasing the FAR component, and then sit back and see how the parcel get used. He said it made more sense to him that FAR gets absorbed with each request for growth. The Pathway 2000 caused the Osborn to adopt a policy that the total funded budget for charity expenditures annually would not exceed 5% which allowed them to become a higher revenue-producing entity. She thought there was no question it was a wonderfully run organization with great financial stability. Mr. Plummer said that while it was the Osborn's right to grow its business, he felt it should not be at the expense of the community, which was why he did not support its expansion.

Alice Model, 2402 Theall Road, resident of the Osborn, appealed to the young mother who lived across from the school by describing the way she used to teach her students about construction projects going on around them. They were always interested in the construction. The Osborn residents do not want to be punished for what neighbors found inconvenient. She urged the community to think about where they would want their parents to live when it was time for them to move out of their homes, and she supported the rezoning efforts.

Janet Ryan Chark, current resident of the Osborn and 54-year resident of Rye, said she always considered the Osborn part of the community and decided to move in after breaking her leg. The community gives her new friends and things to do, and she was happy to be there. The Osborn residents are part of Rye and would not want to harm any of its citizens. The property needs more facilities for amenities to stay in line with other senior facilities being built.

Pete Archer, 43 Mead Place, talked about the flooding after Ida as an existential threat to Rye that was almost guaranteed to happen again. He encouraged the Council and the Planning Commission to be laser focused, especially on the properties uphill to have as much permeable surfaces as possible to prevent flooding downhill. Flooding solutions are subject to design flaws and should be considered with care to avoid more catastrophic events.

Amanda Timchak, 61 Osborn Road, stated that neighbors like herself want the Osborn to succeed. She appreciated the changes Mr. Anderson discussed, particularly the increased setbacks along Osborn Road and the reduced three-story 40-foot building heights, and thought the updated illustrative site was helpful. Her top concern was the magnitude of the proposed increased FAR and encouraged more consideration of the topic, as 0.45 to 0.43 appropriately addressed the concerns of neighbors. She was most concerned about construction of the independent living facility and clubhouse near the school.

Michael Cote, 1 Coolidge Avenue, 23-year resident of Rye, has written several letters on the matter to the Council. He was against the proposal for all the reasons voiced by the neighbors at the meeting: the traffic, visual pollution, potential flood damage, and interference with the Osborn School. He acknowledged zoning laws should be flexible to take account for changing circumstances, but it should not be a given that any business who wants a zoning change to grow their business should be granted. He does not think any rezoning should be allowed until the Osborn can present exact plans for construction.

Leslie Ebers, 138 Osborn Road, has attended many meetings, including one about the tragic issue that occurred at Oakland Beach. Once things get to planning it was too late. She thought hands were tied even though parties were within their legal rights. It was important to be heard at this point which was why she felt so strongly about it. The topic of the master plan lacking has come up over and over, and she was unsure why no one was moving forward on that. She disagreed with the FAR increase. She expressed for concern for the Osborn residents that live in the cottages that will be the site of the independent living facility, and her dislike of the evergreen screen.

Kathy Grainger-Hubbins, 75 Oakland Beach, said the Osborn was a special place and she would like to see it succeed. She felt that once the zoning changes are granted there will be nothing anyone can do, and it will encourage other businesses to ask for zoning changes. She agreed with the City conducting its own study and the idea of a 3-D model. She encouraged the Council to consider the 16,592 residents of Rye, not just the 400 Osborn residents. She has faith that the Osborn and Rye residents can work together on a plan beneficial for all.

William Childs, 14 Coolidge Avenue, has children at the Osborn School. He stressed that the neighbors do appreciate the dialogue throughout the last couple of meetings. His biggest issue was the aesthetic of the Osborn property as it in the line of site from his home. There was ambiguity in the current plans, and he would like to see more detail. He appreciated the constructive comments offered by his neighbors, such as the phased approach to FAR. He was concerned about home values dropping due to the view of the Osborn.

Christine Cote, 1 Coolidge Avenue, was saddened that the community seemed to be making enemies of the Osborn residents. She has also written letters to the Council. She was concerned about flooding, the safety of the children, and the aesthetic of the neighborhood. She was opposed to the new zoning. She found the plan vague and worried about the Osborn doing whatever they wanted once granted the new zoning. She found the entire process stressful and difficult for everyone with a lot at stake.

Councilwoman Johnson responded to the public commentators who expressed worry about the aesthetics, stating the plans will go to the Planning Commission and the Board of Architectural Review that both include neighbors in Rye who volunteer to help make sure Rye remains a beautiful town. Mayor Cohn acknowledged the members of the public who mentioned submitting letters. The mayor assured the public that he has read all their letters and assumed colleagues have done the same, so the public's reliance on letters to support their comments was not misplaced.

Sue Drouin, 57 Morehead Drive, noted that there were 122 callers on the Zoom meeting and how proud that made her that so many Rye residents were engaged in democracy. She felt the

public commenters were respectful and had not insulted the Osborn residents or staff. The community needed to hear concerns and evidence and be encouraged to be engaged. She found the changes the Osborn was requesting would have serious negative impacts to Rye including traffic, flooding, pedestrian, neighborhood, and historic character, and all a stone's throw from the school classrooms and playgrounds, and impacting the historic Boston Post Road corridor, without committing to any concrete plan. The proposed use could include recreational opportunities or permanent protection. She encouraged the Osborn to consider potential set-asides for the community.

Darren Brown, 129 Grandview Avenue, recognized the Council and the mayor for doing such hard work over a long period of time. He respected the Osborn and its team for the value the organization delivered to the community. He asked the Osborn team to reconsider the size and scale of what they are asking for to have less impact on the local community. He would appreciate a more concrete plan. He asked Mayor Cohn and the Council to think hard about granting a variance of this size. He was concerned this would continue to be an issue across all of Rye. Large changes should be coordinated as part of a master plan.

Daniela Arrendondo, 5 Osborn Road, appreciated the extra time given. She appreciated the beautiful Osborn campus and its residents. She thought the Osborn's request was too big. The Osborn mentioned they needed the growth to survive, but also mentioned they still need to do a marketing study and more consultation with the Rye community. She believed the marketing study should be done before any zoning approval. Perhaps FARs should be approved on a case-by-case basis. She also wrote a letter to the Council. She strongly encouraged the Council to consider the 500 children of the school, which was her motivation to be part of the process.

Randy Motland, 5005 Theall Road, stated that he and his wife are residents of the Osborn. While the Osborn was a great place to retire, the facilities are dated. No new buildings have been constructed in 25 years. The Osborn needs to stay competitive and remain a top-rated facility to continue to attract interesting and vibrant new residents, so he supported the rezoning plan. He believed that the Osborn needed a new central auditorium, social clubhouse, more meetings rooms, new dining rooms, a larger theater, expanded gym, and other items. He believed much of the controversy over the Osborn's plan was due to misunderstanding about the organization's status as a non-profit, and that the Osborn residents will most feel the inconvenience of construction.

Dan Adler, 62 Elmwood Avenue, did not enjoy the feeling of neighbors being pitted against each other. Everyone wants to feel like there was a beneficial outcome for all. He asked the Council to be very sure about how rezoning will affect Rye as a whole now and in the future because it cannot be reversed.

Julia Lovallo, 27 Hughes Avenue, requested that the City Council vote no to the proposed rezoning. She saw no benefit to the surrounding neighborhood for the special request to increase the Osborn's FAR. She was concerned about the neighborhood aesthetic, property values, flooding, traffic, public safety, and years of construction. The proposal was too big, and she was worried about the overdevelopment of Rye.

Betsy Graseck, 421 Park Avenue, said she has lived in Rye for 22 years. She was opposed to the amendment and concurred with speakers who wanted the Council to vote no. There was a lot of space within the Osborn to improve its building capacity and facilities without expansion. Her issues of concern were flooding, environmental, and aesthetics. She wondered if there should be more listening sessions, or if possible, a public vote.

Mary Anne Haines, 2 Coolidge Avenue, wanted to mention several points from the meeting for the sake of the record. According to the Ramboll presentation, an increase in impervious surface will result in increased flooding, and she wondered why the City would consider a 50% increase in FAR and increase in impervious surface at the highest point in the area. With respect to visuals, she noted the view of the Osborn from adjacent homes is not ground-level as presented in the renderings. She learned R2 is zoned for private homes with a minimum lot size of half an acre. She does not find the FAR request valid when the Osborn has 97,000 square feet of unused building allowance. She said Mr. Anderson stated the Osborn ran under a healthcare model, but adding an independent living facility was actually a change of property use.

Jose Francisco, 1 Packard Court, thanked the Council for the time given to the public. He shared concern with his neighbors about flooding, the environment, security, traffic, character of the neighborhood, no concrete plans, and disruption to the overall community at large. He did not understand why it was taking so long to decide, and he would like the Council to vote no to the zoning change at this point.

Seeing no more hands raised from the public, Mayor Cohn proposed putting the public hearing into the next Council meeting. Ms. Wilson stated the mayor could make a motion to adjourn the public hearing until June 15th.

Councilmember Nathan asked Mr. Anderson to clarify the number of residents expected in the proposed new residence buildings. Mr. Anderson replied there would be 80 independent living units with up to two residents, and 50 healthcare units, and he guessed it would be around 150 people.

Mayor Cohn asked for a motion to adjourn the public hearing until June 15, 2022. Councilman Nathan made the motion, and Councilwoman Johnson seconded the motion. The Council unanimously supported the motion.

7. Presentation of preliminary 2021 financials summary from City Comptroller, Joe Fazzino.

Mayor Cohn announced that under City Comptroller Joe Fazzino's leadership the City's financial reports for 2020 were honored by the Government Finance Officers Association for their excellence. The mayor thanked Mr. Fazzino for his efforts.

Mr. Fazzino presented the City's financial summary for 2022. With respect the General Fund, the results were definitive. The finalization of the work will come with the publication of the Comprehensive Annual Financial Report which will be presented by the auditors in July. The

audit ran for two weeks in April and was a seamless process that wrapped up with minimal adjusting entries. Mr. Fazzino was proud of his staff for good accounting and bookkeeping.

Mr. Fazzino stated the City finished with a net profit of \$3.7 million with \$1.375 million in capital investment in infrastructure and the cap-ex reserve. The year finished with about \$5.2 million in unassigned fund balance, which was 11.34% of the budgeted appropriations for 2022, and leaves \$616,000 over the 2022 budgeted appropriations. The large surplus was due to the City's expenditures landing under budget and revenue outperforming the budget.

With respect to revenues other than property taxes, Mr. Fazzino was happy to report that all of the at-risk revenues that caused concern in 2020 bounced back and exceeded budgeted expectations for 2021, except for interest income that continued to fall. Mr. Usry noted that the 2021 budget was completed in the fall of 2020, a time of tremendous uncertainty due to COVID-19, which was why the estimates were so conservative.

Mr. Fazzino stated that sales tax was budgeted conservatively and finished 2021 at \$718,000 over budget. He noted 2020 was the first year of the 1% rate increase, and with supply shortages, 2023 might be the first year the City sees the full effect of the 1% increase. Hotel occupancy tax finished the year around \$60,000 more than budgeted, and clearly travel activity ramped up in the last two quarters. Of the \$170,000 over budget in franchise fees, \$120,000 is attributed to the one-time All-T settlement.

Mr. Fazzino shared that parking meter revenues increased in 2021 and were over budget. Building permit revenue was up 58% from 2020 at about \$392,000 over budget. Filming permit revenues were a nice surprise. Vehicle and traffic fines were a hard number to gauge, but old cases were settled in 2021 and fines exceeded budget expectations. Parking fines were increased in 2019 which was finally being seen with a return to more utilization of public parking in 2021. Refund of prior expenditures relates to an annual audit done for Worker's Compensation, and less payroll meant a lower premium, so there were some refunds to Worker's Compensation in 2021.

Regarding state aid revenue sharing, Mr. Fazzino said the State told the City of Rye in 2020 that the City would be receiving a 20% cut thanks to the American Relief Plan Act; indeed, \$804,870 was given back to the City in July 2021. Mr. Fazzino said the money has been earmarked for capital projects the City has identified, and that Mortgage tax was \$806,000 over budget which should not be expected every year.

Councilman Stacks thanked the Comptroller's office for being appropriately conservative when creating the budget in 2020, and he asked if a normal budget process was on the horizon as COVID-19 was less of a problem. Mr. Fazzino replied that current numbers were on track with the budget outlined in 2021 and reflected a return to pre-COVID budget expectations. Mayor Cohn reminded the Council about the cap-ex program and a variety of other needs so the expense side might be drastically different. Mr. Usry agreed with Mr. Fazzino that the 2022 budget was less impacted by the pandemic, but there were still headwinds in the economy to consider such as interest rates that affect building and mortgages. Mr. Fazzino added that building permit and mortgage tax revenue were always budgeted conservatively regardless of prior year outcomes.

Mr. Fazzino stated that the largest driver of expenses coming in under budget are the vacant positions throughout the City. Actual expenditures in 2021 were down about \$700,000 compared to City-wide budget for salaries. Retirement rates were up in 2021, but the decrease in payroll led to a decrease in retirement expenses. Other expenses reduced by fewer salaries were FICA, Worker's Compensation, and employee health insurance. The retiree health insurance was also lower than budgeted for. Computers and systems were up \$75,000 which was due mostly to the police CAD system approved by the Council.

Mr. Fazzino confirmed for Councilman Nathan that police CAD system was a one-time expense but there is a lesser yearly fee. EMS services was given \$50,000 out of contingency in the spring of 2021. The recreation net cost was previously discussed at length with the Council and the City budgeted a cost of almost \$2.1 million, but the actual cost was \$240,000 less than assumed.

Mr. Fazzino next presented a summary of capital investments for 2021. The main investment in 2021 was street resurfacing with \$800,000 of general revenue, \$600,000 coming from the tax rate, \$200,000 coming from the 2021 surplus, about \$347,000 in CHIPS funding from the State, about \$111,000 in City surcharges for street openings, and that did not include the 2020 balance of \$970,000 that was rolled forward. The overall amount spent on paving in 2021 was \$2.21 million. Mr. Usry added that the total was higher in 2021 than 2020 given everything that was happening in the world, and since 2017 the City spent \$9.5 million on street resurfacing.

Mr. Fazzino presented the Boat Basin Fund and the Golf Club Fund, both of which had a good year. The Boat Basin recorded over \$500,00 in profit and finished the year with \$2.9 million of unrestricted net assets. The Golf Club reported an operating loss, but due to appreciation the loss was closer to \$200,000 than \$500,000. Unrestricted net assets for the Golf Club Fund finished 2021 at about \$3.55 million.

Mayor Cohn asked if there were questions for Mr. Fazzino from the Council, but there were none.

8. Consideration of proposed policies for the City of Rye Fire Department:

- Policy #102 – Oath of Office
- Policy #103 – Department Head
- Policy #200 – Organizational Structure
- Policy #202 – Administrative Communications
- Policy #303 – Emergency Response

Mayor Cohn introduced a batch of new policies for the Fire Department and invited Commissioner Mike Kopy to join the meeting. Commissioner Kopy stated that the Fire Department was generating new policies and procedures in a formal fashion, and they had contracted with Lexipol to provide a framework for the new policies. Commissioner Kopy reviewed them on a weekly basis with the captain and sending them out for review by members, and the proposed changes are forwarded to the union for a final review before bringing to the City

Council. He confirmed most of the changes are already in practice such as Oath of Office, though this will be the first time it is in writing and will be filed.

Mr. Kopy described the following policies proposed for formal documentation: Oath of Office was a straightforward policy that required every firefighter must sign after taking the oath. The Department Head policy recognizes the Career Captain as the Department Head and established qualifications as the City sees fit. The Organizational Structure policy documents the key areas of the fire service of Fire Operations and Suppression, which is the firefighters that arrive to put out fires, and the Fire Prevention Bureau which is prevention and inspections. Chain of Command policy outlines directives and the passing of orders. Alternate Channels of Communication established alternate procedures for personnel to report matters outside their chain of command. Communication policy established the use of the memorandum, and who may use department letterhead for non-internal communications. Emergency Response policy outlined how the Fire Department responds to calls as far as lights, sirens, and accidents that may occur, which is another policy in place but not formally established.

Mayor Cohn thanked Mr. Kopy for his statements about the ongoing practice of these policies without being in writing. Mr. Kopy was hopeful the process of formalizing the policies could be complete within six months or a year. Mayor Cohn confirmed there were no more questions from the Council and thanked Mr. Kopy for joining the meeting so late.

Councilwoman Souza made the motion, seconded by Councilman Nathan and unanimously carried, to adopt the policies above for the City of Rye Fire Department as outlined by Commissioner Kopy.

9. Residents may be heard on matters for Council consideration that do not appear on the agenda.

There was no one to speak on this agenda item.

10. Consideration to set a public hearing for June 15, 2022, for a waiver request from the existing rock removal moratorium from Fletcher Development.

Mayor Cohn stated that councilmembers have likely all seen the letter in the agenda package, but this was not the time to explore the request.

Councilwoman Hurd made a motion, seconded by Councilwoman Souza and unanimously carried, to set the public hearing for June 15, 2022 for a waiver request from the existing rock removal moratorium from Fletcher Development.

11. Consideration of a request by Christ's Church for use of the City streets (Rectory Street) on the following dates:

- 8/16/22, 2:00pm-6:00pm - Blue Skies Talent Show
- 9/11/22, 9:00am-1:00pm - Homecoming Church Picnic
- 10/15/22, 8:00-5:00pm - CCNS Fall Family Day

- 11/26/22, 8:00am-5:00pm - Annual Christ's Church Christmas Tree Sale

The mayor asked for a motion to approve Christ's Church request to use City streets (Rectory Street) on four dates in 2022 for a variety of family activities. Councilmember Hurd made the motion, and Councilmember Souza seconded the motion. All councilmembers were in favor of Christ Church's request.

12. Appointments to Boards and Commissions by the Mayor with Council approval.

There were no appointments on the agenda.

13. Old Business/New Business.

Councilman Nathan acknowledged George Kirby, a Rye resident who recently made his Major League Baseball debut. The Council offered their support and congratulations to Mr. Kirby.

14. Adjournment.

Mayor Cohn asked for a motion to adjourn the City Council meeting. Councilmember Souza made the motion, and Councilmember Nathan seconded the motion. The Council unanimously agreed to adjourn the meeting at 10:26 P.M.

Respectfully submitted,

Carolyn D'Andrea
City Clerk



CITY COUNCIL AGENDA

DEPT.: City Manager

DATE: June 2, 2022

CONTACT: Greg Usry, City Manager

AGENDA ITEM: Update regarding pricing on Westchester Power Community Energy program.

FOR THE MEETING OF:

June 15, 2022

RECOMMENDATION: That the Council hear the update.

IMPACT: Environmental Fiscal Neighborhood Other:

BACKGROUND: See attached email and letter from Westchester Power regarding the pricing of their Westchester Power Community Energy program.

Ruttenberg, Noga P.

From: Usry, Greg G.
Sent: Thursday, June 09, 2022 1:30 PM
To: Ruttenberg, Noga P.
Subject: FW: Pause of the Westchester Power Electricity Supply in the Con Edison Service Territory

From: Sustainable Westchester <info@sustainablewestchester.org>
Sent: Monday, June 06, 2022 10:36 AM
To: Usry, Greg G. <gusry@ryeny.gov>
Subject: Pause of the Westchester Power Electricity Supply in the Con Edison Service Territory

[View in your browser](#)



Dear Municipal Leaders and Committee Members in the Con Edison Service Territory:

Thank you for taking the time to read this important update for the Westchester Power Community Energy program. We've just passed the six-year mark for this, the first such program in the state, which has provided stable, competitive rates for over a third of Westchester County residents and small businesses and over a million tons of greenhouse gas reductions through renewable energy purchases.

As you are aware, we have been working to secure a new electricity supply contract to follow on after the June 30 end of this current one. While we continue to push forward with efforts to position for and secure the best possible contract for our participating residents and small businesses in this volatile energy market, we have passed the point where the next contract could still follow our current one without a break. ***All current customers will be switched back to Con Edison utility supply starting on their 1st meter read after June 30. Please assure your residents that there will be no interruption in their electricity service.***

We cannot say for certain when the next contract will start, but we believe it is important to alert participants about what they should expect to see during these next few weeks. On our website we have posted a sample of

the English/Spanish [letter](#) which will be sent to customers around the 2nd week of June.

It's important to note also that our work to develop and launch the Westchester Power Solar Credit offering for low-income customers in the territory continues and we are in touch with municipalities separately about required updates to their enabling laws and other preparation. Other related energy programming, such as the GridRewards demand response offering remains in full swing. Westchester is unique in having this network of interrelated initiatives that help to reinforce and accelerate the progress toward a clean energy economy here in the County.

The path ahead remains as challenging, urgent, and exciting as always. Working together we have built up a powerful community energy framework which we should make sure to preserve and expand upon. Sustainable Westchester will be doing all it can to deliver on that promise. We'll be updating you regularly as we put together the path forward for 2022.

Please refer to <https://sustainablewestchester.org/wp/conedterritory/> for more information.

To help spread the word, we have assembled a [marketing asset folder](#) with graphics, newsletter copy, FAQs, and other resources that you may post on social media to help alert your constituents, staff, and teams to these developments.

Needless to say, should you have inquiries that start to get "into the weeds," we encourage you to forward them to us.

Thanks as always for your support and vision,

Dan Welsh, Program Director



40 Green Street
Mt. Kisco, NY 10549
United States

914-242-4725

You are receiving this email because you signed up for our newsletter, inquired about one or more of our programs via email, phone call or at an event.

If you prefer to not receive periodic updates & information from Sustainable Westchester, please opt-out below.

June 10, 2022

WESTCHESTER POWER PROGRAM — NOTIFICATION OF ELECTRICITY SUPPLY OFFERING PAUSE

You are receiving this letter because you are a current participant in the program who will be affected by this temporary pause in our electricity supply offering, starting on Friday July 1, 2022. **YOUR ELECTRICITY WILL NOT BE TURNED OFF**, you will simply be transferred from Westchester Power to Con Edison's default supply. This pause does not mean the program is ending, but rather that there is going to be a gap in service which will resume again later this year.

PAUSE IN SERVICE: Extreme volatility in electricity prices has presented challenges to securing a supply contract that provides the value and stability to participants that the program has delivered these last 6 years. While we continue to work for a new contract, the timing is now such that participants will experience a pause in program supply at the end of this current contract.

WHAT HAPPENS NEXT: Starting in July, you will be transitioned into the Con Edison default electricity supply and be billed for electricity at their variable rate. You will:

1. *Receive a notification card from Con Edison in June regarding your impending switch over to their supply*
2. *Starting in your July billing cycle, you will receive Con Edison's electrical supply and be billed at their monthly rates with no interruption of service, receiving your first bill under that supply in late July/August*
3. *Ahead of the restart of Westchester Power supply, you will be notified through the mail regarding the new contract terms and have the opportunity to opt out or change supply options should you wish before automatically re-enrolling*

KEEPING YOU UPDATED: While we do not yet know the date the electricity supply will restart in your area or what the new rates will be, you will be notified ahead of that resumption once that is established, and we will post updates at <https://sustainablewestchester.org/wp/coned/>

CONTINUED COMMITMENT TO OUR WORK: While the decision to pause the electricity supply offering of the program is a disappointing step in our journey toward building a healthy and sustainable Westchester County, we are resolute in our dedication to this mission. The various other programs of Sustainable Westchester (e.g. Grid Rewards) will continue through this pause and beyond, continuing to provide savings and environmental benefits for residents.

PROGRAM BENEFITS AND IMPACT:

- **ENVIRONMENTAL IMPACT** - Since 2016, Westchester residents and small businesses across 29 municipalities have made 100% Renewable energy adoption a priority. This has led to the mitigation of ~1.1 million metric tons of carbon dioxide emissions into the atmosphere, the equivalent of 292 million cars taken off the road for 1 year!
- **HISTORICALLY COMPETITIVE RATES AT FIXED LEVELS** - Westchester Power offers fixed rates to its participants who benefit from the stability of knowing what they will pay month-to-month for their electricity supply, insuring themselves against the unpredictable swings of variable utility rates.

Additionally, Westchester Power rates (both the 100% Renewable and Standard) have historically been highly competitive with utility rates. Over the last 12 months, the average Con Edison rate has been 0.54 cents higher than the program's 100% Renewable and 1.23 cents higher than the Standard supply respectively.

- **ADDITIONAL PROGRAMS AND INITIATIVES** - Westchester Power is foundational to the variety of other programs and initiatives of Sustainable Westchester, all of which complement the necessary work we do towards building a healthy and sustainable future for our communities.

Please join our informational webinar for residents in your area on Zoom, you can RSVP at sustainablewestchester.org/events or contact our offices with the information below. Please contact us to find out more about the program electricity supply pause and what it means for you.

PROGRAMA DE ELECTRICIDAD WESTCHESTER POWER – NOTIFICACIÓN DE PAUSA EN EL SUMINISTRO DE ELECTRICIDAD

Usted ha recibido esta carta porque en la actualidad es uno de los participantes del programa que se verá afectado por esta pausa temporaria en nuestro servicio de suministro de electricidad a partir del viernes **1 de julio de 2022**. **NO SE LE CORTARÁ EL SERVICIO DE ELECTRICIDAD**, sino que simplemente se le transferirá de Westchester Power a Con Edison. Esta pausa no significa que el programa se acabe, sino que habrá una pausa en el servicio que volverá a comenzar más adelante este mismo año.

PAUSA EN EL SERVICIO: La extrema volatilidad de los precios de la electricidad ha presentado ciertos desafíos con respecto a asegurarnos un contrato de suministro que provea el valor y estabilidad que los participantes del programa han recibido estos últimos seis años. Mientras seguimos trabajando para conseguir un nuevo contrato, los participantes experimentarán una pausa en el suministro al final del contrato que actualmente se encuentra en vigencia.

QUÉ OCURRIRÁ A CONTINUACIÓN: A partir de julio, usted pasará al programa de suministro de electricidad de Con Edison y se le cobrará la tarifa variable de dicha compañía. Usted:

1. *Recibirá notificación de Con Edison en junio con respecto al cambio a su programa de suministro.*
2. *A partir del mes de julio, recibirá el suministro de electricidad por medio de Con Edison y se le cobrará de acuerdo con las tarifas mensuales de dicha compañía sin interrupciones en el servicio. La primera factura por ese servicio la recibirá a fines de julio o principios de agosto.*
3. *Antes de comenzar nuevamente con el servicio de suministro de electricidad de Westchester Power, se le notificará por correo sobre el nuevo contrato y usted tendrá la oportunidad de elegir no participar o cambiar la opción de suministro si así lo desea antes de inscribirse automáticamente.*

LO MANTENDREMOS AL TANTO: Mientras que no sabemos todavía la fecha en que el servicio de suministro de electricidad volverá a comenzar en su área ni cuáles serán las tarifas. Se le notificará por adelantado una vez que se establezca el programa y publicaremos actualizaciones en www.sustainablewestchester.org/wp/conedareapause

COMPROMISO CONTINUO CON NUESTRO TRABAJO: Mientras que sabemos que la decisión de pausar el suministro de energía del programa es un paso decepcionante en nuestro viaje a construir un Condado de Westchester saludable y sostenible, nos mantenemos firmes en nuestra dedicación a cumplir con esa misión. Los otros variados programas de Sustainable Westchester (por ejemplo, GridRewards) continuarán proporcionando ahorros y beneficios ambientales a los residentes a lo largo de esta pausa y más allá.

BENEFICIOS E IMPACTO DEL PROGRAMA:

- **IMPACTO MEDIOAMBIENTAL** – Desde el 2016, los residentes y pequeños negocios de 29 municipalidades de Westchester han hecho el adoptar energía 100% renovable su prioridad. Esto ha llevado a la mitigación de ~1.1 millones de toneladas métricas de emisiones de dióxido de carbono en la atmosfera, lo que equivale a que se haya retirado de circulación 292 millones de carros durante un año.
- **TARIFAS HISTÓRICAMENTE COMPETITIVAS A NIVELES FIJOS** – Westchester Power ofrece tarifas fijas a sus participantes, quienes se benefician de la estabilidad de saber cuánto pagarán mes a mes por el suministro de electricidad, asegurándose así contra los cambios impredecibles de las tarifas de las compañías de electricidad. Además, las tarifas de Westchester Power (tanto la opción de energía 100% renovable como la estándar) han sido históricamente muy competitivas con las de las compañías de electricidad. En los últimos 12 meses, la tarifa promedio de Con Edison ha sido .54 centavos más alta que la opción de energía 100% renovable del programa y 1.23 centavos más alta que la de suministro estándar respectivamente.
- **PROGRAMAS E INICIATIVAS ADICIONALES** – Westchester Power es la base de una variedad de otros programas e iniciativas de Sustainable Westchester, todos los cuales complementan el trabajo necesario que hacemos para construir un futuro saludable y sostenible para nuestras comunidades.

Por favor, participe en nuestra sesión de información (DETALLES) para obtener más información sobre esta pausa en el servicio de suministro de electricidad del programa y lo que significa para usted. También puede enviar un mensaje de correo electrónico, llamar o visitar nuestro sitio web.



CITY COUNCIL AGENDA

DEPT.: City Manager

DATE: June 2, 2022

CONTACT: Greg Usry, City Manager

AGENDA ITEM: Resolution authorizing the expenditure of money from General Funds Unassigned Fund Balance to pay for new equipment for a new and advanced radio system provided through the Metropolitan Transit Authority.

FOR THE MEETING OF:

June 15, 2022

RECOMMENDATION: That the Council adopt the resolution.

IMPACT: Environmental Fiscal Neighborhood Other:

BACKGROUND: See attached resolution and memo from Public Safety Commissioner Mike Kopy.

Michael A. Kopy
Public Safety Commissioner
Rye, New York 10580



Tel: (914) 967-1234
Fax: (914) 967-8867
E-mail: mkopy@ryeny.gov
<http://www.ryeny.gov>

CITY OF RYE

Department of Public Safety

Memorandum

To: Mr. Greg Usry, Rye City Manager

From: Michael A. Kopy, Public Safety Commissioner

Date: 6/10/2022

Re: New Radio System – MTA Communication Platform

With the current City of Rye communication infrastructure, the department is running on single band VHF (Very High Frequency) radios, using a single repeater with six receiver locations. VHF is a commonly used form of radio communication within law enforcement, our Military branches, and for commercial application. VHF, in its simplest term is your standard LOS (Line of Sight) communication, which under the current system has its inadequacies. Line of Sight VHF radio communication is the requirement for a radio frequency to travel with a clear unobstructed path from antenna to antenna, any physical obstruction to this path can hinder a radios ability to talk. The current single band, VHF portable, vehicle and command console radios the department is using are outdated and being phased out. The issues of Line of Sight is never more evident in the Department's trouble areas or dead zones for the radios. Areas like the neighborhood of Greenhaven are examples of this. Greenhaven neighborhood is a consolidated, narrow area, surrounded by trees and woods. This type of layout provides difficulty when that radio frequency tries to utilize LOS to navigate congested environments. This LOS application coupled with the fact the nearest two communication hubs to retransmit are located in Harrison and Rye Police Headquarters, two locations in this instance that are located at the opposite ends of town, is a clear example of the inadequacies of the current system. The department also concludes the upgrading of equipment provides opportunity to try and correct other areas of communication difficulty, most notably our School Districts. In areas where LOS VHF will have difficulties even in the best of circumstances the new radio equipment will provide the opportunity to try and talk on means outside of VHF such as utilizing cellphone towers and the radio's LTE capabilities.

The City of Rye Police Department was made aware of a new and advanced radio system provided through the Metropolitan Transit Authority. The City of Rye Police Department met with the MTA Police Department Communications Unit to investigate and compare radio systems. A thorough test was conducted utilizing two MTA radios and a MTA repeater/transmitter. The MTA radios were



tested in unison with our current radio system within the City of Rye. The tests were conducted in several parts of the City including “dead areas” where officers had little to no reception in the past. The MTA radios significantly outperformed our current system, providing clear and high quality transmissions throughout the City. This led to our current review of the system and calculating our best plan for the future. The department’s plan is to upgrade to the MTA multiband system with LTE capabilities. This not only allows us to communicate better within Westchester County as a whole, but also better within Rye itself. A multiband radio provides the ability to communicate utilizing multiple frequencies, using a larger spectrum of radio waves to achieve this. Utilizing these multiband LTE radios provides our Officer’s on the road the ability to have more than one option to talk in the field, especially in the areas of the City that continue to give the department problems.

The MTA system is a chance to upgrade our current equipment and communication platform while also being cost efficient for the future. The MTA has a well-established infrastructure that they utilize across several MTA train lines spanning throughout multiple jurisdictions within Westchester. Utilizing and taking advantage of an already maintained and established radio infrastructure through the MTA will allow us to only purchase and replace the radio equipment itself. Repeaters/receivers are provided and maintained through the MTA cutting costs through maintenance, upkeep and upgrading the system.

Radio Communications are vital to the success of any law enforcement agency. Having a comprehensive and coherent plan through the MTA platform is the correct path moving forward. This platform will give Rye the ability to grow and fix crucial issues the current system presents. The MTA platform is also an important opportunity in communication with Rye Brook and Port Chester, with whom we share a radio frequency and a close operational work environment. Rye Brook and Port Chester, have already approved their plans to change to the MTA platform. It is vital that the department start implementing our plan as well, not just because it is the best option currently in terms of communication but to ensure that we maintain the best form of communication with our two most relied upon departments. It is essential to move forward with the same equipment that Rye Brook and Port Chester will be operating on going forward. The MTA solution will also further our ability to communicate with officers from numerous jobs throughout the County, which assists in Mutual Aid endeavors.

Current cost estimates to transition to this new radio system are in the \$650,000 range for all equipment (Desk console, vehicle based radios and personal radio issued to each officer) although we expect this number to increase in time do to the current economic situation. It will also cost approximately \$15,000 annually for service contracts and access to cellular service for this system. All costs associated with maintaining the system-wide base stations will be borne by the MTA.

Safety is the highest priority for the City of Rye Police Department. The safety of our residents, officers, and those that visit our City is paramount. Our radios are not just an essential every day tool we rely on, but arguably the most important piece of equipment our officers carry with them. The need to be able to communicate clearly as a law enforcement entity has a wide range of applications. From an officer being able to receive a general call for service to an officer having the ability to request medical aid, communications are vital. The department cannot emphasize enough how important Officer Safety is through properly functioning radio equipment. One incident of poor communication that threatens our Officers or the community is deemed egregious, let alone multiple cited incidents. The best way to serve our community and ensure the safety of all is to move forward with the MTA solution.



RESOLUTION

Authorizing the expenditure of money from General Funds Unassigned Fund Balance to pay for new equipment for a new and advanced radio system provided through the Metropolitan Transit Authority

WHEREAS, The City of Rye Police Department is running on single band VHF (Very High Frequency) radios, using a single repeater with six receiver locations; and

WHEREAS, the current single band, VHF portable, vehicle and command console radios the department is using are outdated and being phased out; and

WHEREAS, the City of Rye Police Department was made aware of a new and advanced radio system provided through the Metropolitan Transit Authority; and

WHEREAS, the MTA radios were tested and significantly outperformed our current system, providing clear and high quality transmissions throughout the City; and

WHEREAS, the MTA system is a chance to upgrade our current equipment and communication platform while also being cost efficient for the future; and

WHEREAS, current cost estimates to transition to this new radio system are \$650,000 for all equipment (Desk console, vehicle based radios and personal radio issued to each officer);

NOW, THEREFORE, BE IT RESOLVED, that the City Council agrees to appropriate an amount not to exceed \$600,000 from the General Fund's Unassigned Balance to cover the cost of this new radio system.



CITY COUNCIL AGENDA

DEPT.: Planning

DATE: May 31, 2022

CONTACT: Christian K. Miller, City Planner

AGENDA ITEM: Continue the public hearing for consideration of a petition from The Miriam Osborn Memorial Home to amend the text of the City of Rye Zoning Code Association to create new use and development standards for “Senior Living Facilities” in the R-2 Zoning District.

FOR THE MEETING OF:

June 15, 2022

RYE CITY CODE,
CHAPTER 197
SECTION

RECOMMENDATION: That the City Council continue the public hearing

IMPACT: Environmental Fiscal Neighborhood Other:

BACKGROUND: In November 2018 the City Council received a petition from Miriam Osborn Memorial Home Association (“The Osborn”) to amend Chapter 197, *Zoning*, of the City Code to allow “Senior Living Facilities” (“SLF”) in the City’s R-2, *Single-Family Residence*, District. The petition submitted by The Osborn seeks to amend the text of the City Zoning Code to allow SLF in the City’s R-2 District. The proposed amendment would allow SLF as a new permitted use in the R-2 Residence District on those properties with 50 or more contiguous acres. The proposed amendment also includes new restrictions and requirements regarding maximum floor area, building setbacks, lot coverage and other development standards. Currently, The Osborn is regulated outside of the City Zoning Code by way of a Declaration of Covenants and Restrictions, dated October 15, 1993.

The petitioner’s most recent submission (attached hereto) has been revised to reduce permitted Floor Area Ratio, reduce permitted building heights, and reduce permitted site coverage. The Amendment has also been updated to include the parking setback and screening requirements requested by the Council. City staff has posted on the City website all documents and information related to the petition including all prior submissions, recommendations of the City Planning Commission, Westchester County Planning Department and all written correspondence from area neighbors (please visit: <https://www.ryeny.gov/government/city-council/active-projects-and-pending-matters> and click on the blue “Osborn Petition” box).

Throughout the process the petitioner has submitted multiple revisions to its proposed zoning text amendment in response to the comments of the City Planning Commission, City Council and public comment in previous hearings. Attached hereto is the latest revised draft local law being considered by the City Council.

McCULLOUGH, GOLDBERGER & STAUDT, LLP

Attorneys at Law

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mcculloughgoldberger.com

STEVEN WRABEL

Partner

swrabel@mgslawyers.com

June 3, 2022

Honorable Mayor Josh Cohn and Members of the City Council
City of Rye
1050 Boston Post Road
Rye, New York 10580

Re: The Osborn
101 Theall Road
Zoning Text Amendment

Dear Mayor Cohn and Members of the City Council:

This office represents the Miriam Osborn Memorial Home Association (“The Osborn”), the owner and operator of the senior living community located at 101 Theall Road (the “Property”), which has existed on the Property since 1908. As you are aware, The Osborn petitioned the Council in November of 2018 for an Amendment to the Rye Zoning Ordinance (the “Amendment”). The Amendment has been through a rigorous review process including referral to the Planning Board, which issued a positive recommendation after months of review, staff review and discussions, and numerous public hearings with the City Council. The Osborn has also produced several studies for the City’s robust review of the Amendment, and has committed to continuing its long-standing tradition of working with the community through contributions toward a study of potential traffic and pedestrian improvements, as well as contributions toward Rye EMS and Rye Recreation.

Since appearing before the Council, we have worked to memorialize the changes agreed to in our March 2022 submission and at the May 25th meeting. To that end, the proposed Amendment has been revised to reduce permitted Floor Area Ratio, reduce permitted building heights, and reduce permitted site coverage. The Amendment has also been updated to include the parking setback and screening requirements requested by the Council.

In further support of this petition, we are pleased to enclose the following supplemental materials:

1. Clean and redlined copies of the revised local law;
2. Illustrative Site Diagram, prepared by RLPS Architects, revised May 31, 2022;
3. Zoning Comparison Table, prepared by DTS Provident Design Engineering, LLP (“DTSP”), revised June 1, 2022; and
4. Full Environmental Assessment Form, parts 1 and 2 with a list of studies provided to the City, prepared by DTSP, dated June 3, 2022.

We feel strongly that The Osborn has put together a comprehensive analysis of the requested Amendment and has incorporated a number of substantive revisions to its proposal, to achieve a well-considered local law. We look forward to discussing this with the Council at our continued public hearing on June 15, 2022. Thank you for your consideration.

Very truly yours,

A handwritten signature in black ink, appearing to read "Steve Wrabel". The signature is fluid and cursive, with a large initial "S" and "W".

Steven Wrabel

cc: Greg G. Usry
Kristen Wilson, Esq.
Miriam Osborn Memorial Home Association

**CITY COUNCIL
CITY OF RYE, NEW YORK**

LOCAL LAW NO. ___-2022

**A LOCAL LAW TO REVISE THE ZONING ORDINANCE
OF THE CITY OF RYE**

Be it enacted by the City Council of the City of Rye as follows:

Section One. Section 197-86 of the City of Rye Zoning Ordinance shall be amended by adding a new section (15) entitled “R-2 Senior Living Facilities” to Table A, Column 2, under the heading “R-1, R-2, R-3, R-4, R-5, R-6, RS and RT Districts”, which shall state as follows:

(15) R-2 Senior Living Facilities. In the R-2 District, an age restricted, multi-family residential facility in a campus setting providing a variety of housing types, including, but not limited to: independent living units, assisted living facilities, ambulatory services, and domiciliary care facilities, with healthcare support, including but not limited to availability of accessible units and assistance for residents with activities of daily living, and including other appropriate ancillary and accessory uses typically found in senior residential communities including, but not limited to, communal space, associated office space, equipment storage, residences for staff, support facilities, food preparation and service facilities, provided that:

- (a) Residents of R-2 Senior Living Facilities shall be limited to: (i) a single person 55 years of age or older; (ii) two or three persons, all of whom are 55 years of age or older; (iii) a married couple, live-in companion, or partner, one of which is 55 years of age or older; (iv) the surviving spouse of a person 55 years of age or older, provided that the surviving spouse was duly registered as a resident of the development at the time of the elderly person's death; and (v) one adult 18 years of age or older residing with a person who is 55 years of age or older, provided that said adult is essential to the long-term care of the elderly person as certified by a physician duly licensed in New York State.

[1] Notwithstanding the foregoing, up to four (4) dwelling units within the community may be set aside to be occupied by a superintendent, building manager, or other staff member and their family, to which the limitations on occupancy set forth above shall not apply.

[2] Persons under the age of 55 not specifically permitted to be occupants shall not be permitted to be permanent residents of dwelling units. For the purposes of this section, a “permanent resident” shall mean any person who resides within the dwelling for more than three consecutive weeks or in excess of 30 days in any calendar year, or has listed the residence as an abode for any purpose whatsoever, including, but not limited to, enrollment in public or private schools. Temporary occupancy by guests of families shall be

permitted, provided that such occupancy does not exceed a total of 30 days in any calendar year.

[3] The limitations on occupancy shall be included in the marketing materials for the development as well as within the rules and regulations or terms of any leases, bylaws or covenants and restrictions for the development. Violations of the limitations on occupancy shall be enforceable by the City of Rye Building Inspector against the owner or lessee or the agent of any of them and shall be punishable by a fine of \$250 per day or by imprisonment not exceeding 15 days, or by both such fine and imprisonment. Exceptions to these regulations shall be granted if any limitations are determined to be in violation of any state or federal law.

[4] The Planning Commission shall have the right to require that the owner execute agreements and covenants as it may deem to be required during any site plan approval process as it may reasonably deem to be required to ensure compliance with the stated intent of this section. Said agreements or covenants shall be recorded in the office of the Westchester County Clerk and constitute a covenant running with the land. Such covenant or agreement may be modified or released only as set forth in said covenant or agreement or by the City Council.

- (b) The site for an R-2 Senior Living Facility shall have a minimum of 50 contiguous acres.
- (c) The floor area ratio shall not exceed 0.43.
- (d) Lot building coverage shall not exceed 15% and total impervious coverage shall not exceed 33%.
- (e) Building height shall not exceed four (4) stories or 55 feet. Where proposed buildings are set back at least 240 feet from the all property lines and wholly located within an area of said setback that can contain a horizontal square with 200-foot sides, the permitted maximum building height may be increased to five (5) stories and 65 feet. No building within 400 feet of Osborn Road shall exceed three (3) stories or 45 feet in height.
- (f) There shall be a minimum yard requirement of 160 feet for front yards and a minimum yard requirement of 160 feet for side and rear yards.

[1] Where an R-2 Senior Living Facility adjoins or is located across the street from a single-family residence or school, the required yard shall be planted and maintained with appropriate landscaping in keeping with the existing setting so as to provide effective visual screening, and shall contain no buildings or storage. Nothing in this Chapter shall prohibit the placement of stormwater management facilities, sidewalks, gardening and passive recreation features, and/or access drives within the required minimum yard.

[2] The minimum yard requirement from Osborn Road shall be 300 feet.

[3] Where an R-2 Senior Living facility adjoins or is located across the street from a use other than a single-family residence, Senior Citizens Apartment (RA-5 District), or school, required yard setbacks may be reduced to no less than 100 feet, provided that the maximum permitted area of the encroachment of the structure into this reduced setback shall be no more than 30% of the total area between each yard line and the standard 160-foot setback. Notwithstanding the foregoing, for all new buildings and structures, a minimum setback of 160 feet shall be maintained from Old Boston Post Road.

[4] The provisions of § 197-52 shall not apply to R-2 Senior Living Facilities.

- (g) Notwithstanding the provisions of the foregoing paragraph (f), new parking areas and roadways may be located in required yards, but in no case shall a parking area or non-access roadway be located closer than 40 feet to a property line, 100 feet to a property line bordering Boston Post Road or Old Post Road, or 240 feet to a property line bordering Osborn Road. Any parking areas facing Boston Post Road, Old Post Road, or Osborn Road shall be screened from those roadways with evergreen plantings.
- (h) There shall be a minimum distance of 20 feet between all buildings. Notwithstanding the foregoing, buildings may be connected by exterior paved pathways or interior corridors. The provisions of § 197-70 shall not apply to R-2 Senior Living Facilities.
- (i) For independent living units in R-2 Senior Living Facilities, the minimum amount of residential floor area in each unit shall be 750 square feet for one bedroom units, 900 square feet for two bedroom units, and 1,100 square feet for three bedroom units. For assisted living units, the minimal amount of residential floor area shall be 200 square feet. The provisions of § 197-44.B shall not apply to R-2 Senior Living Facilities.
- (j) On any lot used for an R-2 Senior Living Facility, at least 60% of the property shall be preserved as open space. The provisions of § 197-68 shall not apply to R-2 Senior Living Facilities.
- (k) Off-street parking for R-2 Senior Living Facilities shall be provided as follows:
 - [1] For independent living units: 1.0 spaces per dwelling unit.
 - [2] For assisted living, skilled nursing, nursing home, and memory care facilities: 0.25 spaces per bed.
- (l) The provisions of Chapter 197, Attachment 1, entitled “Table A: Residence Districts” shall not apply to R-2 Senior Living Facilities.
- (m) The provisions of § 197-8.A and C shall not apply to R-2 Senior Living Facilities.

- (n) Notwithstanding any of the foregoing, any building, structure or use existing on the effective date of this section which does not conform to the provisions of this section may be continued subject to the requirements of Article III of this chapter.

Section Two. If any section, subsection, clause, phrase or other portion of this Local Law is, for any reason, declared invalid, in whole or in part, by any court, agency, commission, legislative body or other authority of competent jurisdiction, such portion shall be deemed a separate distinct and independent portion. Such declaration shall not affect the validity of the remaining portions hereof, which other portions shall continue in full force and effect.

Section Three. This Local Law shall take effect immediately upon filing with the Secretary of State.

**CITY COUNCIL
CITY OF RYE, NEW YORK**

LOCAL LAW NO. ___-202~~1~~

**A LOCAL LAW TO REVISE THE ZONING ORDINANCE
OF THE CITY OF RYE**

Be it enacted by the City Council of the City of Rye as follows:

Section One. Section 197-86 of the City of Rye Zoning Ordinance shall be amended by adding a new section (15) entitled “R-2 Senior Living Facilities” to Table A, Column 2, under the heading “R-1, R-2, R-3, R-4, R-5, R-6, RS and RT Districts”, which shall state as follows:

(15) R-2 Senior Living Facilities. In the R-2 District, an age restricted, multi-family residential facility in a campus setting providing a variety of housing types, including, but not limited to: independent living units, assisted living facilities, ambulatory services, and domiciliary care facilities, with healthcare support, including but not limited to availability of accessible units and assistance for residents with activities of daily living, and including other appropriate ancillary and accessory uses typically found in senior residential communities including, but not limited to, communal space, associated office space, equipment storage, residences for staff, support facilities, food preparation and service facilities, provided that:

- (a) Residents of R-2 Senior Living Facilities shall be limited to: (i) a single person 55 years of age or older; (ii) two or three persons, all of whom are 55 years of age or older; (iii) a married couple, live-in companion, or partner, one of which is 55 years of age or older; (iv) the surviving spouse of a person 55 years of age or older, provided that the surviving spouse was duly registered as a resident of the development at the time of the elderly person's death; and (v) one adult 18 years of age or older residing with a person who is 55 years of age or older, provided that said adult is essential to the long-term care of the elderly person as certified by a physician duly licensed in New York State.

[1] Notwithstanding the foregoing, up to four (4) dwelling units within the community may be set aside to be occupied by a superintendent, building manager, or other staff member and their family, to which the limitations on occupancy set forth above shall not apply.

[2] Persons under the age of 55 not specifically permitted to be occupants shall not be permitted to be permanent residents of dwelling units. For the purposes of this section, a “permanent resident” shall mean any person who resides within the dwelling for more than three consecutive weeks or in excess of 30 days in any calendar year, or has listed the residence as an abode for any purpose whatsoever, including, but not limited to, enrollment in public or private schools. Temporary occupancy by guests of families shall be

permitted, provided that such occupancy does not exceed a total of 30 days in any calendar year.

[3] The limitations on occupancy shall be included in the marketing materials for the development as well as within the rules and regulations or terms of any leases, bylaws or covenants and restrictions for the development. Violations of the limitations on occupancy shall be enforceable by the City of Rye Building Inspector against the owner or lessee or the agent of any of them and shall be punishable by a fine of \$250 per day or by imprisonment not exceeding 15 days, or by both such fine and imprisonment. Exceptions to these regulations shall be granted if any limitations are determined to be in violation of any state or federal law.

[4] The Planning Commission shall have the right to require that the owner execute agreements and covenants as it may deem to be required during any site plan approval process as it may reasonably deem to be required to ensure compliance with the stated intent of this section. Said agreements or covenants shall be recorded in the office of the Westchester County Clerk and constitute a covenant running with the land. Such covenant or agreement may be modified or released only as set forth in said covenant or agreement or by the City Council.

(b) The site for an R-2 Senior Living Facility shall have a minimum of 50 contiguous acres.

(c) The floor area ratio shall not exceed ~~0.450~~.43.

(d) Lot building coverage shall not exceed 15% and total impervious coverage shall not exceed ~~3533~~%.

(e) Building height shall not exceed four (4) stories or ~~6055~~ feet. Where proposed buildings are set back at least 240 feet from the all property lines and wholly located within an area of said setback that can contain a horizontal square with 200-foot sides, the permitted maximum building height may be increased to five (5) stories and 65 feet. No building within 400 feet of Osborn Road shall exceed three (3) stories or 45 feet in height.

(f) There shall be a minimum yard requirement of 160 feet for front yards and a minimum yard requirement of 160 feet for side and rear yards.

[1] Where an R-2 Senior Living Facility adjoins or is located across the street from a single-family residence or school, the required yard shall be planted and maintained with appropriate landscaping in keeping with the existing setting so as to provide effective visual screening, and shall contain no buildings or storage. Nothing in this Chapter shall prohibit the placement of stormwater management facilities, sidewalks, gardening and passive recreation features, and/or access drives within the required minimum yard.

[2] The minimum yard requirement from Osborn Road shall be 300 feet.

[3] Where an R-2 Senior Living facility adjoins or is located across the street from a use other than a single-family residence, Senior Citizens Apartment (RA-5 District), or school, required yard setbacks may be reduced to no less than 100 feet, provided that the maximum permitted area of the encroachment of the structure into this reduced setback shall be no more than 30% of the total area between each yard line and the standard 160-foot setback. Notwithstanding the foregoing, for all new buildings and structures, a minimum setback of 160 feet shall be maintained from Old Boston Post Road.

[4] The provisions of § 197-52 shall not apply to R-2 Senior Living Facilities.

- (g) Notwithstanding the provisions of the foregoing paragraph (f), new parking areas and roadways may be located in required yards, but in no case shall a parking area or non-access roadway be located closer than 40 feet to a property line, 100 feet to a property line bordering Boston Post Road or Old Post Road, or 240 feet to a property line bordering Osborn Road. Any parking areas facing Boston Post Road, Old Post Road, or Osborn Road shall be screened from those roadways with evergreen plantings.
- (h) There shall be a minimum distance of 20 feet between all buildings. Notwithstanding the foregoing, buildings may be connected by exterior paved pathways or interior corridors. The provisions of § 197-70 shall not apply to R-2 Senior Living Facilities.
- (i) For independent living units in R-2 Senior Living Facilities, the minimum amount of residential floor area in each unit shall be 750 square feet for one bedroom units, 900 square feet for two bedroom units, and 1,100 square feet for three bedroom units. For assisted living units, the minimal amount of residential floor area shall be 200 square feet. The provisions of § 197-44.B shall not apply to R-2 Senior Living Facilities.
- (j) On any lot used for an R-2 Senior Living Facility, at least 60% of the property shall be preserved as open space. The provisions of § 197-68 shall not apply to R-2 Senior Living Facilities.
- (k) Off-street parking for R-2 Senior Living Facilities shall be provided as follows:
 - [1] For independent living units: 1.0 spaces per dwelling unit.
 - [2] For assisted living, skilled nursing, nursing home, and memory care facilities: 0.25 spaces per bed.
- (l) The provisions of Chapter 197, Attachment 1, entitled “Table A: Residence Districts” shall not apply to R-2 Senior Living Facilities.
- (m) The provisions of § 197-8.A and C shall not apply to R-2 Senior Living Facilities.

- (n) Notwithstanding any of the foregoing, any building, structure or use existing on the effective date of this section which does not conform to the provisions of this section may be continued subject to the requirements of Article III of this chapter.

Section Two. If any section, subsection, clause, phrase or other portion of this Local Law is, for any reason, declared invalid, in whole or in part, by any court, agency, commission, legislative body or other authority of competent jurisdiction, such portion shall be deemed a separate distinct and independent portion. Such declaration shall not affect the validity of the remaining portions hereof, which other portions shall continue in full force and effect.

Section Three. This Local Law shall take effect immediately upon filing with the Secretary of State.



ILLUSTRATIVE SITE DIAGRAM
 THE OSBORN - RYE, NEW YORK

Comparative Zoning Table

Zoning Standard	The Osborn - Existing Conditions	1993 Declaration	R-2 District	RA-6 District (St. Regis Residences)	Proposed Local Law (Nov. 2018)	Proposed Local Law (rev. Mar. 2020)	Proposed Local Law (rev. Feb. 2021)	Proposed Local Law (rev. June 2022)
Max FAR	0.26	0.3	0.2	0.75	0.5	0.45	0.45	0.43
Min. Lot Size	55.79 ac 2,430,182 sf	50 ac	.5 ac / family	2,500 sf / family	50 ac	50 ac	50 ac	50 ac
Min. Yards (ft)						(f)	(j)	(j)
Front	174 (a)	160	35	150 (d)	150 (c)	160 (g, h)	160 (k, l)	160 (k, l)
One side	161 (b)	160	15	50	50	160 (g, h)	160 (k, l)	160 (k, l)
Two sides		-	40	100				
Rear	161 (c)	160	40	50	50	160 (g, h)	160 (k, l)	160 (k, l)
Max. Height								
Stories	5	5	2.5	4	5	4 / 5 (i)	4 / 5 (m)	4 / 5 (m, n)
Feet	64	75	32	45	60	60 / 75 (i)	60 / 65 (m)	55 / 65 (m, n)
Max. Building Coverage	11.53%	15%	-	35%	20%	15%	15%	15%
Max. Site Impervious Coverage	26.50%	30%	-	-	35%	35%	35%	33%

- Notes**
- (a) Pre-1993 building - 120 feet
 - (b) Pre-1993 building - 53 feet
 - (c) Pre-1993 building - 120 feet
 - (d) Per §197 Table A, note (k), "The required front yard setback can be reduced to no less than 100 feet, provided that the maximum permitted area of the encroachment of the structure into this reduced setback shall be less than 15% of the total area between the front yard line and the standard 150' setback."
 - (e) Proposed - Required front yard setbacks may be reduced to no less than 60 feet, provided that the maximum permitted area of the encroachment of the structure into this reduced setback shall be no more than 25% of the total area between the front yard line and the standard 150-foot setback. Notwithstanding the foregoing, for all new buildings and structures, a minimum setback of 150 feet shall be maintained from Old Boston Post Road.
 - (f) Proposed - Where an R-2 Senior Living Facility adjoins or is located across the street from a single-family residence or school, the required yard shall be planted and maintained with appropriate landscaping so as to provide effective visual screening, shall contain no parking, storage or other program use, may contain stormwater management facilities, and shall be crossed only by sidewalks and access drives.
 - (g) Proposed - Where an R-2 Senior Living Facility is located across a non-State, non-County, or non-federally-designated road from a one-family district, the minimum required setback from that road shall be 240 feet.
 - (h) Proposed - Where an R-2 Senior Living Facility adjoins or is located across the street from other than a single-family residence or school, the required setback can be reduced to no less than 100 feet, provided that the maximum permitted area of the encroachment of the structure into this reduced setback shall be less than 30% of the total area between each yard line and the standard 160' setback.
 - (i) Proposed - Where proposed buildings are set back a minimum of 240 feet from a boundary line and can be wholly located within an area of said setback that can contain a horizontal square with 200-foot sides, the permitted maximum height may be increased to 5 stories, 75 feet.
 - (j) Proposed - Where an R-2 Senior Living Facility adjoins or is located across the street from a single-family residence or school, the required yard shall be planted and maintained with appropriate landscaping in keeping with the existing setting so as to provide effective visual screening and shall contain no permanent structures or storage. Such required yard may contain stormwater management facilities, sidewalks and other passive recreation features, and access drives.
 - (k) Proposed - The minimum yard requirement from Osborn Road shall be 300 feet. The minimum required setback from Osborn Road for parking or non-access roadways shall be 240 feet. **The minimum required setback from Boston Post Road and Old Post Road for parking or new non-access roadways shall be 100 feet.**
 - (l) Proposed - Where an R-2 Senior Living Facility adjoins or is located across the street from other than a single-family residence, senior apartment or school, the required yard setback can be reduced to no less than 100 feet, provided that the maximum permitted area of the encroachment of the structure into this reduced setback shall be less than 30% of the total area between each yard line and the standard 160' setback.
 - (m) Proposed - Where proposed buildings are set back a minimum of 240 feet from a boundary line and can be wholly located within an area of said setback that can contain a horizontal square with 200-foot sides, the permitted maximum height may be increased to 5 stories, 65 feet.
 - (n) Proposed - No building within 400 feet of Osborn Road shall exceed three (3) stories or 45 feet in height.**

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: The Osborn Zoning Text Amendment Petition - R2 Senior Living Facility		
Project Location (describe, and attach a general location map): 101 Theall Road, City of Rye, Westchester County, NY 10580 - Section 146.13-1-8		
Brief Description of Proposed Action (include purpose or need): A Local Law to revise the Zoning Ordinance of the City of Rye is being proposed to allow for flexible design of senior living on the property. The amendment will include Senior Living Facilities as a use permitted subject to additional standards and requirements in a R-2 Zone. It will also include permitted accessory uses to R-2 Senior Living Facilities.		
Name of Applicant/Sponsor: Miriam Osborn Memorial Home Association		Telephone: (914) 925-8201
		E-Mail: manderson@theosborn.org
Address: 101 Theall Road		
City/PO: Rye	State: New York	Zip Code: 10580
Project Contact (if not same as sponsor; give name and title/role): Steven Wrabel, McCullough, Goldberger & Staudt, LLP		Telephone: (914) 949-6400
		E-Mail: swrabel@mgslawyers.com
Address: 1311 Mamaroneck Avenue, Suite 340		
City/PO: White Plains	State: New York	Zip Code: 10605
Property Owner (if not same as sponsor): same as applicant		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board , <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Rye City Council - Zoning Text Amendment	11/29/2018
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	City of Rye Planning Commission - Zoning Amendment Referral	Referral 02/27/2019
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Westchester County Department of Planning 239-m	Referral 05/01/2020
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No **
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

**** This application is only for the adoption of a zoning text amendment. Nevertheless, we wish to more fully address all potential impacts.**

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
 R-2 One-Family Districts — Minimum lot size 1/2 acre

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? R-2 Senior Living Facilities

C.4. Existing community services.

a. In what school district is the project site located? Rye City School District

b. What police or other public protection forces serve the project site?
 Rye City Police Department

c. Which fire protection and emergency medical services serve the project site?
 Rye City Fire Department; Port Chester-Rye-Rye Brook EMS

d. What parks serve the project site?
 Project Site is approximately 1/4 mile from Rye Nature Center.

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Zoning Text Amendment

b. a. Total acreage of the site of the proposed action? _____ 55.8 acres
 b. Total acreage to be physically disturbed? _____ acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 55.8 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: Up to 80 additional Independent Living and 50 additional Assisted Living Units

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? _____
 iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: _____ months
 ii. If Yes:
 • Total number of phases anticipated _____ TBD
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____
 Senior residential, care and/or support facilities will be proposed as per the needs of the existing Osborn senior community

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	--	--	--	TBD
At completion of all phases	_____	_____	_____	TBD

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures TBD

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: Stormwater Treatment

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

Rainfall _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: TBD million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: TBD height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ Up to 16,830 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: Suez Water - Westchester County
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ up to 15,300 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

Sanitary wastewater _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: Mamaroneck Wastewater Treatment Plant; Blind Brook WWTP
- Name of district: Mamaroneck; Blind Brook
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

*Unit flow values based on NYSDEC Design Standards for Wastewater Treatment Works, § B.6.b, Design Flow, March 2014 .

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No
N/A

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction: Per § 133-8E of City of Rye</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 24hrs/ day • Saturday: _____ 24hrs/ day • Sunday: _____ 24hrs/ day • Holidays: _____ 24hrs/ day
--	---

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration: During construction; TBD _____</p>
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p>
<p>n. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: TBD _____</p>
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p>
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input type="checkbox"/> No TBD</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes: N/A</p> <p>i. Describe proposed treatment(s): _____</p> <p>_____</p> <p>_____</p>
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes: N/A</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): Retirement Community and Rehabilitation Facility

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	14.8	TBD	TBD
• Forested	0		
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)	0		
• Surface water features (lakes, ponds, streams, rivers, etc.)	0		
• Wetlands (freshwater or tidal)	0		
• Non-vegetated (bare rock, earth or fill)	0		
• Other Describe: <u>Landscaped Grounds</u>	41.0	TBD	TBD

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:
The Osborn School is located on an adjoining parcel southeast of the project site

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): 1301473; 1303002
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): B00109
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):
The site listed in the NYSDEC Environmental Site Remediation Database is Beaver Swamp Brook site located in Harrison, NY, approximately 1,500 feet from the project site. Remediation at this site was completed on October 28, 2014.

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 2-6 feet

b. Are there bedrock outcroppings on the project site? Yes No
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:	Crc	_____	26 %
	PnB	_____	52 %
	PnC	_____	22 %

d. What is the average depth to the water table on the project site? Average: _____ 1.5 to >6 feet

e. Drainage status of project site soils: Well Drained: _____ 26 % of site
 Moderately Well Drained: _____ 74 % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 65 % of site
 10-15%: _____ 34.5 % of site
 15% or greater: _____ 0.5 % of site

g. Are there any unique geologic features on the project site? Yes No
If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
If Yes:
i. Name of aquifer: Principal Aquifer _____

m. Identify the predominant wildlife species that occupy or use the project site: <u>Typical Suburban Species</u> _____ _____ _____	_____ _____ _____
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> CEA name: <u>County & State Park Lands</u> <i>ii.</i> Basis for designation: <u>Exceptional or unique character</u> <i>iii.</i> Designating agency and date: <u>Agency: Westchester County, Date: 1-31-90</u>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? If Yes: i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No per EAF Mapper
g. Have additional archaeological or historic site(s) or resources been identified on the project site? If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? If Yes: i. Identify resource: <u>Playland Park</u> ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>County Park</u> iii. Distance between project and resource: _____ 1 miles.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

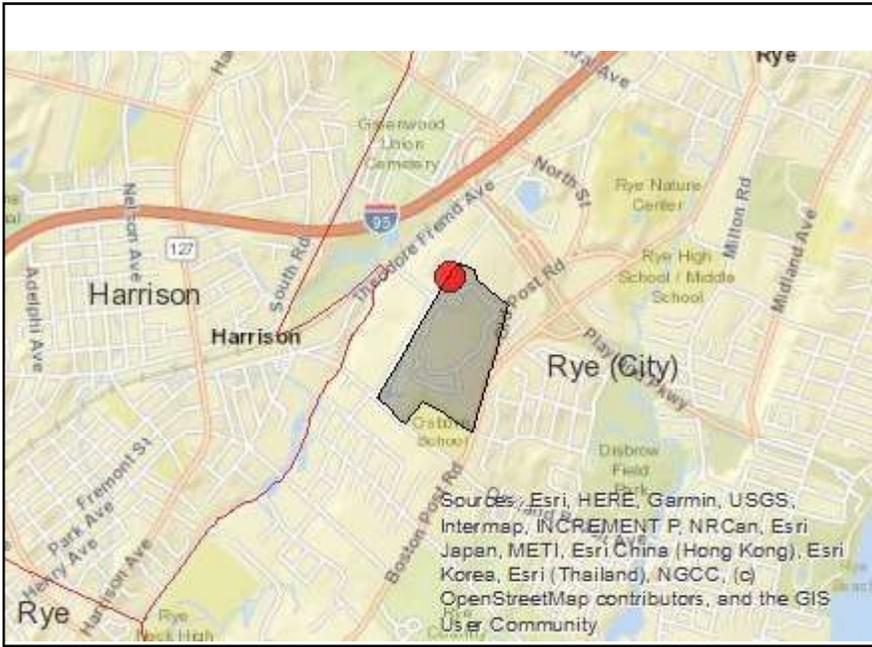
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Miriam Osborn Memorial Home Association Date 6/03/22

Signature  Title Partner, DTS Provident Design Engineering, LLP



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	B00109
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	No

E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	Yes
E.3.d [Critical Environmental Area - Name]	County & State Park Lands
E.3.d.ii [Critical Environmental Area - Reason]	Exceptional or unique character
E.3.d.iii [Critical Environmental Area – Date and Agency]	Agency:Westchester County, Date:1-31-90
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

Full Environmental Assessment Form
Part 2 - Identification of Potential Project Impacts

Agency Use Only [If applicable]

Project :
 Date :

Part 2 is to be completed by the lead agency. Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

Tips for completing Part 2:

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer “**Yes**” to a numbered question, please complete all the questions that follow in that section.
- If you answer “**No**” to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box “Moderate to large impact may occur.”
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the “whole action”.
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

1. Impact on Land Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1) <i>If “Yes”, answer questions a - j. If “No”, move on to Section 2.</i>			
		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: Future construction may result in land disturbance and excavation, to be mitigated by land stabilization and plantings		<input checked="" type="checkbox"/>	<input type="checkbox"/>

2. Impact on Geological Features The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - c. If "No", move on to Section 3.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

3. Impacts on Surface Water The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - l. If "No", move on to Section 4.</i>			
See analysis submitted by the Applicant: Zoning Text Amendment Petition - Environmental Assessment, Section V.2.B, Stormwater Management, dated 3/11/20	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

I. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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4. Impact on groundwater
 The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. NO YES
 (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t)
If "Yes", answer questions a - h. If "No", move on to Section 5.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

5. Impact on Flooding
 The proposed action may result in development on lands subject to flooding. NO YES
 (See Part 1. E.2)
If "Yes", answer questions a - g. If "No", move on to Section 6.

See analysis submitted by the Applicant: Zoning Text Amendment Petition - Environmental Assessment, Section V.2.B, Stormwater Management, dated 3/11/20	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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6. Impacts on Air			
The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO ₂) ii. More than 3.5 tons/year of nitrous oxide (N ₂ O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF ₆) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals			
The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
See analysis submitted by the Applicant: Zoning Text Amendment Petition - Environmental Assessment, Section V.2.A, Trees, dated 3/11/20 and Campus Perimeter Planting Plan - South, dated 3/7/22			
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input checked="" type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: Future construction may result in tree removals, to be mitigated by the planting of new trees _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

8. Impact on Agricultural Resources			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

9. Impact on Aesthetic Resources The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>				<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
See analysis submitted by the Applicant: Zoning Text Amendment Petition - Environmental Assessment, Section V.2.C, Views to Site, dated 3/11/20 and Views of Existing Conditions and Illustrative Simulations, dated 3/07/22		Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur	
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.		E3h	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.		E3h, C2b	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round		E3h	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities		E3h E2q, E1c	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.		E3h	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile		D1a, E1a, D1f, D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
g. Other impacts: _____ _____			<input type="checkbox"/>	<input type="checkbox"/>	

10. Impact on Historic and Archeological Resources The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
		Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur	
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on the National or State Register of Historical Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places.		E3e	<input type="checkbox"/>	<input type="checkbox"/>	
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.		E3f	<input type="checkbox"/>	<input type="checkbox"/>	
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____		E3g	<input type="checkbox"/>	<input type="checkbox"/>	

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered “Moderate to large impact may occur”, continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property’s setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

11. Impact on Open Space and Recreation			
The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) <i>If “Yes”, answer questions a - e. If “No”, go to Section 12.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or “ecosystem services”, provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

12. Impact on Critical Environmental Areas			
The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) <i>If “Yes”, answer questions a - c. If “No”, go to Section 13.</i>		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: <u>Playland Park, a county Park, is located approximately 1 mile from the site.</u> _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

13. Impact on Transportation The proposed action may result in a change to existing transportation systems. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.j) <i>If "Yes", answer questions a - f. If "No", go to Section 14.</i>			
See analysis submitted by the Applicant: Traffic Evaluation - The Osborn - Future Expansion, dated 2/17/21 and updated Traffic Evaluation - The Osborn - Future Expansion, dated 5/18/22	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

14. Impact on Energy The proposed action may cause an increase in the use of any form of energy. <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (See Part 1. D.2.k) <i>If "Yes", answer questions a - e. If "No", go to Section 15.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

15. Impact on Noise, Odor, and Light The proposed action may result in an increase in noise, odors, or outdoor lighting. <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (See Part 1. D.2.m., n., and o.) <i>If "Yes", answer questions a - f. If "No", go to Section 16.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: <u>Temporary construction-related noise impacts may occur in the future</u> _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Impact on Human Health

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)
If "Yes", answer questions a - m. If "No", go to Section 17.

NO

YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

17. Consistency with Community Plans The proposed action is not consistent with adopted land use plans. (See Part 1. C.1, C.2. and C.3.) <i>If "Yes", answer questions a - h. If "No", go to Section 18.</i>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
See analysis submitted by the Applicant: Zoning Text Amendment Petition - Environmental Assessment, Section V.1, Zoning and Land Use, dated 3/11/20		Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur	
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).		C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>	
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.		C2	<input type="checkbox"/>	<input type="checkbox"/>	
c. The proposed action is inconsistent with local land use plans or zoning regulations.		C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>	
d. The proposed action is inconsistent with any County plans, or other regional land use plans.		C2, C2	<input type="checkbox"/>	<input type="checkbox"/>	
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.		C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>	
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.		C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>	
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)		C2a	<input type="checkbox"/>	<input type="checkbox"/>	
h. Other: _____ _____			<input type="checkbox"/>	<input type="checkbox"/>	

18. Consistency with Community Character The proposed project is inconsistent with the existing community character. (See Part 1. C.2, C.3, D.2, E.3) <i>If "Yes", answer questions a - g. If "No", proceed to Part 3.</i>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
See analysis submitted by the Applicant: Zoning Text Amendment Petition - Environmental Assessment, Section V.2.C, Views to Site, dated 3/11/20 and Illustrative Site Diagram, Views of Existing Conditions and Illustrative Simulations, dated 3/07/22		Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur	
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.		E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>	
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)		C4	<input type="checkbox"/>	<input type="checkbox"/>	
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.		C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>	
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.		C2, E3	<input type="checkbox"/>	<input type="checkbox"/>	
e. The proposed action is inconsistent with the predominant architectural scale and character.		C2, C3	<input type="checkbox"/>	<input type="checkbox"/>	
f. Proposed action is inconsistent with the character of the existing natural landscape.		C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>	
g. Other impacts: _____ _____			<input type="checkbox"/>	<input type="checkbox"/>	

The Osborn - Zoning Text Amendment Petition - R2 Senior Living Facility
Studies and Environmental Analysis

- **November 28, 2018 – City Council Submission with Petition for Amendments to the City of Rye Zoning Ordinance**
 - Full Environmental Assessment Form (FEAF), dated November 28, 2018.
- **October 7, 2019 – Planning Commission Submission with Planning Statement**
 - *The Osborn - Planning Statement in Support of Zoning Petition* together with *Comparative Zoning Table* and *Proposed R-2 SL Zoning Diagram*, prepared by Divney Tung Schwalbe, LLP, dated October 7, 2019.
- **November 12, 2019 – Planning Commission Submission with Revised Proposed Zoning Text Amendment**
 - *Updated Comparative Zoning Table* and *Proposed R-2 SL Zoning Diagram*, prepared by Divney Tung Schwalbe, LLP, dated November 12, 2019.
- **March 11, 2020 – City Council Submission of Zoning Text Amendment Petition Environmental Assessment**
 - Updated FEAF, dated March 11, 2020; and,
 - The Osborn in Rye Project Narrative and Environmental Assessment Studies, including:
 - The Osborn Today:
 - Profile;
 - Community Services; and,
 - Economic Benefits.
 - The Osborn Future:
 - Need for Osborn to Respond to Changing Senior Living Needs; and,
 - Proposed Scope of Improvements.
 - Zoning and Land Use:
 - Rye Zoning Code;
 - 1993 Declaration of Covenants and Restrictions;
 - Proposed Local Law Components;
 - Rye Development Plan; and,
 - Westchester 2025.
 - Site Features:
 - Trees;
 - Stormwater Management; and,
 - Views to Site.
 - Utilities:
 - Sanitary Sewer;
 - Water Supply; and
 - Natural Gas.
 - Community Issues:
 - School District;

The Osborn - Zoning Text Amendment Petition - R2 Senior Living Facility
Studies and Environmental Analysis

- Emergency Services; and
- Circulation and Traffic.

- **September 28, 2020 – City Council Submission with Response to Public Comments**
 - Responses by the Petitioner to comments from Public Hearing and letters received by Rye City Council.

- **February 19, 2021 – City Council Submission with Supplemental Studies and Analysis**
 - *Updated Comparative Zoning Table and Proposed R-2 SL Zoning Diagram* prepared by Divney Tung Schwalbe, LLP, dated February 2021;
 - *Traffic Evaluation – The Osborn – Future Expansion*, prepared by Hardesty & Hanover, LLC, dated February 7, 2021; and,
 - *Sanitary Sewer Evaluation Engineer’s Report, Osborn Road and Sonn Drive*, prepared by Divney Tung Schwalbe, LLP, dated February 2021.

- **March 7, 2022 – City Council Submission with Supplemental Studies and Analysis**
 - *Illustrative Site Diagram*, prepared by RLPS Architects, dated March 7, 2022;
 - *Campus Perimeter Concept Planting Plan – South* and Views of Existing Conditions and Illustrative Simulations, prepared by Towers Golde, LLC, dated March 7, 2022; and,
 - *Proposed Osborn Zoning Amendments and Residential Property Values* analysis, prepared by DTS Provident Design Engineering, LLP, dated March 2022.

- **May 18, 2022 – City Council Submission with Supplemental Studies and Analysis**
 - *Updated Traffic Evaluation – The Osborn – Future Expansion*, prepared by Hardesty & Hanover, LLC, dated May 18, 2022.

- **June 3, 2022**
 - Updated FEAF, dated June 3, 2022.

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FRANK S. McCULLOUGH (1905-1998)
EVANS V. BREWSTER (1920-2005)

March 9, 2022

Honorable Mayor Josh Cohn and Members of the City Council
City of Rye
1050 Boston Post Road
Rye, New York 10580

Re: The Osborn
101 Theall Road
Zoning Text Amendment

Dear Mayor Cohn and Members of the City Council:

This office represents the Miriam Osborn Memorial Home Association (“The Osborn”), the owner and operator of 101 Theall Road (the “Property”), which is the home of The Osborn’s senior living community. Since the original Osborn building was first opened in 1908, The Osborn has operated on the Property for 114 years and become one of Rye’s oldest and most important institutions. Its services include memory care and assisted living, skilled nursing care, and independent living apartments. The Osborn’s operations also include health and wellness facilities, office space, dining and food preparation areas, and other support services.

The Property at issue is quite unique within the City. While located in the R-2 “One-Family” Zoning District, the Property is governed by a Declaration of Covenants and Restrictions adopted in conjunction with the City of Rye nearly 30 years ago. As was previously discussed at great length, the senior living landscape has changed dramatically in those 30 years. Consequently, the current zoning standards for The Osborn would not allow for it to construct facilities in keeping with modern programming and standards of care, which are necessary for The Osborn to remain competitive in the modern marketplace.

To address these issues, The Osborn has petitioned the Council for a Zoning Text Amendment (the “Amendment”) to the City of Rye Zoning Ordinance (the “Zoning Ordinance”). This Amendment will serve to codify The Osborn’s land use controls within the Zoning Ordinance, rather than a separate document. The Amendment is also intended to create a framework for the City to review future proposals from The Osborn, by establishing a new Special Permit use and standards for the Rye Planning Commission to enforce on future projects.

Because this petition has been pending before the Council for an extended period of time, we wished to briefly recap the history of this proposal with the City, as we feel it will provide greater insight into the legislation now before the Council. The Osborn has also taken steps to address each of the issues raised by the Council following our last appearance.

Purpose of Zoning Amendment / Petition History

As we have described previously in detail, The Osborn is facing a rapidly-evolving senior living landscape, driven by advancing technology, an aging populace, changing market trends, and increasing competition throughout Westchester and Fairfield Counties. To remain competitive and meet the anticipated needs of this marketplace, The Osborn has determined that greater flexibility is needed for future projects on its campus. To that end, The Osborn developed a proposed Amendment, establishing a new “R-2 Senior Living Facilities” Special Permit use, together with zoning standards and regulations.

The Petition was submitted to the Council in November 2018. After two meetings, the Petition was then referred to the Rye Planning Commission for its recommendation. The Osborn spent nearly a year working with the Planning Commission on the language of the Amendment, finding a balance that would ensure The Osborn’s future stability while establishing proper zoning standards and requirements to ensure appropriate design. After numerous revisions and modifications, the Planning Commission issued a positive report back to the Council, recommending the adoption of the Amendment.

The Osborn returned to the Council following this recommendation the spring of 2020 to begin the public hearing process. Throughout that process, The Osborn has attended numerous meetings with the Council and with surrounding neighbors. The Osborn further took the initiative to host webinars, circulate mailers, conduct site walks, and create a webpage (www.theosborn.org/zoning¹) and email address (zoning@theosborn.org²) for neighbors to reference Petition materials and get in touch with The Osborn.

This process resulted in a number of additional changes from The Osborn to accommodate the concerns of neighbors and the Council, by placing additional limitations and requirements on the proposed Special Permit use. Since beginning these discussions with the City, The Osborn has now decreased the requested floor area ratio, increased required setbacks, reduced permitted height and building placement within its campus, and imposed strict screening requirements. Unprecedented special setbacks have also been proposed to maintain the open space near Osborn Road. A Comparative Zoning Table, summarizing the changes made to the Amendment over the course of this review, is attached hereto as Schedule A, which shows how the proposed Amendment has grown more restrictive throughout this process. This table further demonstrates how the proposed Amendment imposes greater restrictions on building height, setbacks,³ and landscaping than what is currently required for the Property. See also, Zoning Setback Map, dated March 2021, attached hereto as Schedule B, which graphically depicts proposed setback requirements for the Property.

¹ Now www.theosborn.org/envision

² Now envisionteam@theosborn.org

³ The only lesser yard requirement is the limited “incursion” area with a 100’ setback, which is heavily restricted.

The Osborn also retained Hardesty & Hanover, LLC to conduct a traffic study. Hardesty & Hanover’s report, dated February 17, 2021, determined that even with increased development pursuant to the proposed Amendment, there will be “minimal, if any, measurable impacts to traffic operations near or at the site.”

In fact, the biggest traffic concerns in this area are generated primarily by pick-up and drop-off at The Osborn School (the “School”), which the Petition does not affect. Even though The Osborn is not a significant traffic contributor, The Osborn has still offered mitigation options to the City and the School to improve overall traffic congestion in the area.⁴ This is in keeping with The Osborn’s long history of community engagement in Rye.

Responses to Most Recent Comments

These supplemental studies and revisions to the Amendment were submitted to the Council in early 2021 for evaluation and discussion. We last appeared before the Council in March 2021 for a review of these items, at which time The Osborn addressed various comments from the Council and the public. The Council also asked The Osborn to address additional topics with subsequent further studies and answers to specific questions. Following the meeting, The Osborn has worked with its residents and consultants to generate materials responsive to the Council’s questions. With that in mind, we wish to respond to those issues as follows:

1. *Confirm no new entrances or exits are proposed for The Osborn campus.*

There are no new entrances or exits proposed as part of the Petition.

2. *Can parking lot setbacks of 240 feet be provided from Osborn Road, with full evergreen screening? Can 100-foot parking lot setbacks be provided from Boston Post Road with full evergreen screening?*

The Osborn has committed to parking setbacks of 240 feet from Osborn Road, and is willing to impose an additional evergreen screening requirement for parking lots facing Osborn Road to ensure appropriate screening of vehicles. The Osborn is also willing to provide a 100-foot setback requirement for parking spaces from Boston Post Road, as well as an evergreen screening requirement for those spaces.

3. *Can permitted building heights be reduced even further to four stories / 48 feet and five stories / 60 feet for the part of The Osborn Property that directly faces Osborn Road (not behind the School)? This would still leave 12 feet per floor.*

The Osborn may currently construct buildings anywhere on the Property within the existing 160-foot setbacks, up to five stories and 75 feet in height. In the proposed Amendment, we are proposing to impose greater limitations on the Property, by reducing maximum heights based on setbacks to four stories at 60 feet or five stories and 65 feet, which is consistent with the current

⁴ As detailed in our February 19, 2021 letter to the Council, The Osborn has offered to contribute funds toward an independent study of traffic issues in this area, and has further offered reasonable access to areas of The Osborn’s Property for the School to ameliorate traffic issues based on the findings of this study.

buildings on The Osborn's campus. Setbacks will also generally be increased so as to push buildings further from residential areas.

Further reductions in permitted heights would not be viable on the Property. Sloped roofs will likely be utilized as an architectural feature for some, if not all, future buildings to fit the visual context of the existing Osborn campus. This will require additional height beyond typical height per floor.

4. *What could a "maximum development" plan look like if the Amendment is adopted? Please provide a breakdown of square footage to show building distribution.*

The Osborn has spent significant time working with its consultants, in conversation with its residents, to generate the enclosed Illustrative Site Diagram from RLPS Architects, dated March 7, 2022 (the "Site Diagram"). This drawing illustrates where future buildings and site improvements could be located if The Osborn were to utilize all available FAR within development areas permitted under the proposed Amendment. The Site Diagram takes into account parking, building spacing, and landscaping requirements included in the Petition, as well as general site logistics.

The Osborn has also retained Towers Golde LLC, a planning and landscape architecture firm, to prepare a supplemental concept planting plan for the southern perimeter of the campus, as had been previously discussed with the Council and in keeping with the screening and landscaping requirements included in the Amendment. Towers Golde then generated summer and winter visual simulations from five viewpoints along Osborn, Boston Post and Theall Roads looking towards the new and existing landscape and buildings shown in the Site Diagram and concept planting plan. These materials clearly demonstrate that development under the proposed zoning will be generally consistent with the existing character of the surrounding neighborhood and the current Osborn campus.

5. *Can the Petitioner propose language to ensure preservation of the "campus" effect facing Boston Post Road?*

The Osborn has proposed explicit language to achieve this very effect. Specifically, the Amendment calls for maintaining the 160-foot setback from Boston Post Road and mandates that required yards facing single-family residences, as is the case along Boston Post Road "be planted and maintained with appropriate landscaping in keeping with the existing setting so as to provide effective visual screening."

The Osborn's most recent revisions to the Amendment added the explicit requirement that screening must be "in keeping with the existing setting". It is equally important to The Osborn that the campus-like quality of its facilities is maintained for its residents and the community at large.

6. *Will The Osborn commit to maintaining its arboretum status?*

The Osborn is committed to maintaining the arboretum character of the campus consistent with current criteria established by its arboretum accreditor organization.

7. *Can The Osborn provide garage space to Rye EMS?*

The Osborn has offered a parking space with electric hookup, and a supporting staff area to Rye EMS, free of charge, for staging of an emergency vehicle and associated personnel. It is our understanding from Rye EMS that they have decided to pursue an alternate location and no longer wish to use this space.

8. *Provide information related to property values.*

In response to comments from neighbors asserting negative effects on their property values from this Amendment, DTS Provident has undertaken a detailed analysis of residential sale prices surrounding The Osborn over nearly 40 years, including before, during, and after development of The Osborn's Pathway 2000 plan, which included the construction of multistory apartment buildings, duplex garden homes, a skilled nursing facility, and site infrastructure.

DTS Provident's analysis shows that similar scaled development on this very Property did not result in any detriment to surrounding property values. In fact, valuations have consistently risen since the beginning and completion of this major construction project.

9. *Provide data on The Osborn's residents and patients, and their relationship to Rye.*

The Osborn's records indicate approximately 20%-25% of Osborn residents in the independent living, assisted living, and skilled nursing facilities are former Rye residents or related to Rye families. Approximately 60% of the patients served by Osborn Home Care are Rye residents, and approximately 75% of outpatients assisted by The Osborn Outpatient Rehabilitation program are Rye residents.

Conclusion

It is our strong belief that the Amendment before the Council, which has been subject to years of discussion, is a well-considered piece of legislation benefitting from the input from neighbors, the City Council, the Planning Commission, City staff, and expert consultants. As is clearly shown on the Zoning Comparison Table, the current Amendment is the product of numerous revisions on The Osborn's part to address concerns from neighboring property owners. In making these changes The Osborn will greatly condense areas for future development on The Osborn's campus. Nevertheless, we feel that this Amendment will provide the necessary flexibility for The Osborn to address its needs in the future so that this historic institution may continue to thrive and serve the Rye community.

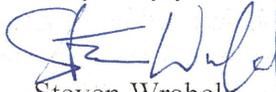
We wish to reiterate that this Amendment does not provide The Osborn with any form of site plan approval. Rather, the proposed legislation will merely create a zoning framework for the Planning Commission to review a proposal from The Osborn. That process itself will require further public hearings, expert analysis, and thorough review.

We are pleased to submit the following materials in support of this Petition:

1. Illustrative Site Diagram prepared by RLPS Architects, dated March 7, 2022;
2. Campus Perimeter Concept Planting Plan - South and Views of Existing Conditions and Illustrative Simulations prepared by Towers Golde LLC, dated March 7, 2022; and
3. Proposed Osborn Zoning Amendments and Residential Property Values analysis prepared by DTS Provident, dated March 2022.

We look forward to continuing the public hearing and discussion of the proposed Amendment with the Council at its March 16, 2022 meeting. Thank you for your consideration.

Very truly yours,



Steven Wrabel

cc: Greg G. Usry
Kristen Wilson, Esq.
Miriam Osborn Memorial Home Association

**CITY COUNCIL
CITY OF RYE, NEW YORK**

LOCAL LAW NO. ___-2022

**A LOCAL LAW TO REVISE THE ZONING ORDINANCE
OF THE CITY OF RYE**

Be it enacted by the City Council of the City of Rye as follows:

Section One. Section 197-86 of the City of Rye Zoning Ordinance shall be amended by adding a new section (15) entitled “R-2 Senior Living Facilities” to Table A, Column 2, under the heading “R-1, R-2, R-3, R-4, R-5, R-6, RS and RT Districts”, which shall state as follows:

(15) R-2 Senior Living Facilities. In the R-2 District, an age restricted, multi-family residential facility in a campus setting providing a variety of housing types, including, but not limited to: independent living units, assisted living facilities, ambulatory services, and domiciliary care facilities, with healthcare support, including but not limited to availability of accessible units and assistance for residents with activities of daily living, and including other appropriate ancillary and accessory uses typically found in senior residential communities including, but not limited to, communal space, associated office space, equipment storage, residences for staff, support facilities, food preparation and service facilities, provided that:

- (a) Residents of R-2 Senior Living Facilities shall be limited to: (i) a single person 55 years of age or older; (ii) two or three persons, all of whom are 55 years of age or older; (iii) a married couple, live-in companion, or partner, one of which is 55 years of age or older; (iv) the surviving spouse of a person 55 years of age or older, provided that the surviving spouse was duly registered as a resident of the development at the time of the elderly person's death; and (v) one adult 18 years of age or older residing with a person who is 55 years of age or older, provided that said adult is essential to the long-term care of the elderly person as certified by a physician duly licensed in New York State.

[1] Notwithstanding the foregoing, up to four (4) dwelling units within the community may be set aside to be occupied by a superintendent, building manager, or other staff member and their family, to which the limitations on occupancy set forth above shall not apply.

[2] Persons under the age of 55 not specifically permitted to be occupants shall not be permitted to be permanent residents of dwelling units. For the purposes of this section, a “permanent resident” shall mean any person who resides within the dwelling for more than three consecutive weeks or in excess of 30 days in any calendar year, or has listed the residence as an abode for any purpose whatsoever, including, but not limited to, enrollment in public or private schools. Temporary occupancy by guests of families shall be

permitted, provided that such occupancy does not exceed a total of 30 days in any calendar year.

[3] The limitations on occupancy shall be included in the marketing materials for the development as well as within the rules and regulations or terms of any leases, bylaws or covenants and restrictions for the development. Violations of the limitations on occupancy shall be enforceable by the City of Rye Building Inspector against the owner or lessee or the agent of any of them and shall be punishable by a fine of \$250 per day or by imprisonment not exceeding 15 days, or by both such fine and imprisonment. Exceptions to these regulations shall be granted if any limitations are determined to be in violation of any state or federal law.

[4] The Planning Commission shall have the right to require that the owner execute agreements and covenants as it may deem to be required during any site plan approval process as it may reasonably deem to be required to ensure compliance with the stated intent of this section. Said agreements or covenants shall be recorded in the office of the Westchester County Clerk and constitute a covenant running with the land. Such covenant or agreement may be modified or released only as set forth in said covenant or agreement or by the City Council.

- (b) The site for an R-2 Senior Living Facility shall have a minimum of 50 contiguous acres.
- (c) The floor area ratio shall not exceed 0.45.
- (d) Lot building coverage shall not exceed 15% and total impervious coverage shall not exceed 35%.
- (e) Building height shall not exceed four (4) stories or 60 feet. Where proposed buildings are set back at least 240 feet from the all property lines and wholly located within an area of said setback that can contain a horizontal square with 200-foot sides, the permitted maximum building height may be increased to five (5) stories and 65 feet.
- (f) There shall be a minimum yard requirement of 160 feet for front yards and a minimum yard requirement of 160 feet for side and rear yards.

[1] Where an R-2 Senior Living Facility adjoins or is located across the street from a single-family residence or school, the required yard shall be planted and maintained with appropriate landscaping in keeping with the existing setting so as to provide effective visual screening, and shall contain no buildings or storage. Nothing in this Chapter shall prohibit the placement of stormwater management facilities, sidewalks, gardening and passive recreation features, and/or access drives within the required minimum yard.

[2] The minimum yard requirement from Osborn Road shall be 300 feet.

[3] Where an R-2 Senior Living facility adjoins or is located across the street from a use other than a single-family residence, Senior Citizens Apartment (RA-5 District), or school, required yard setbacks may be reduced to no less

than 100 feet, provided that the maximum permitted area of the encroachment of the structure into this reduced setback shall be no more than 30% of the total area between each yard line and the standard 160-foot setback. Notwithstanding the foregoing, for all new buildings and structures, a minimum setback of 160 feet shall be maintained from Old Boston Post Road.

[4] The provisions of § 197-52 shall not apply to R-2 Senior Living Facilities.

- (g) Notwithstanding the provisions of the foregoing paragraph (f), new parking areas and roadways may be located in required yards, but in no case shall a parking area or non-access roadway be located closer than 40 feet to a property line or 240 feet to a property line bordering Osborn Road.
- (h) There shall be a minimum distance of 20 feet between all buildings. Notwithstanding the foregoing, buildings may be connected by exterior paved pathways or interior corridors. The provisions of § 197-70 shall not apply to R-2 Senior Living Facilities.
- (i) For independent living units in R-2 Senior Living Facilities, the minimum amount of residential floor area in each unit shall be 750 square feet for one bedroom units, 900 square feet for two bedroom units, and 1,100 square feet for three bedroom units. For assisted living units, the minimal amount of residential floor area shall be 200 square feet. The provisions of § 197-44.B shall not apply to R-2 Senior Living Facilities.
- (j) On any lot used for an R-2 Senior Living Facility, at least 60% of the property shall be preserved as open space. The provisions of § 197-68 shall not apply to R-2 Senior Living Facilities.
- (k) Off-street parking for R-2 Senior Living Facilities shall be provided as follows:
 - [1] For independent living units: 1.0 spaces per dwelling unit.
 - [2] For assisted living, skilled nursing, nursing home, and memory care facilities: 0.25 spaces per bed.
- (l) The provisions of Chapter 197, Attachment 1, entitled “Table A: Residence Districts” shall not apply to R-2 Senior Living Facilities.
- (m) The provisions of § 197-8.A and C shall not apply to R-2 Senior Living Facilities.
- (n) Notwithstanding any of the foregoing, any building, structure or use existing on the effective date of this section which does not conform to the provisions of this section may be continued subject to the requirements of Article III of this chapter.

Section Two. If any section, subsection, clause, phrase or other portion of this Local Law is, for any reason, declared invalid, in whole or in part, by any court, agency, commission, legislative body or other authority of competent jurisdiction, such portion shall be deemed a separate distinct and independent portion. Such declaration shall not affect the validity of the remaining portions hereof, which other portions shall continue in full force and effect.

Section Three. This Local Law shall take effect immediately upon filing with the Secretary of State.

**CITY COUNCIL
CITY OF RYE, NEW YORK**

LOCAL LAW NO. ___-202~~10~~

**A LOCAL LAW TO REVISE THE ZONING ORDINANCE
OF THE CITY OF RYE**

Be it enacted by the City Council of the City of Rye as follows:

Section One. Section 197-86 of the City of Rye Zoning Ordinance shall be amended by adding a new section (15) entitled “R-2 Senior Living Facilities” to Table A, Column 2, under the heading “R-1, R-2, R-3, R-4, R-5, R-6, RS and RT Districts”, which shall state as follows:

(15) R-2 Senior Living Facilities. In the R-2 District, an age restricted, multi-family residential facility in a campus setting providing a variety of housing types, including, but not limited to: independent living units, assisted living facilities, ambulatory services, and domiciliary care facilities, with healthcare support, including but not limited to availability of accessible units and assistance for residents with activities of daily living, and including other appropriate ancillary and accessory uses typically found in senior residential communities including, but not limited to, communal space, associated office space, equipment storage, residences for staff, support facilities, food preparation and service facilities, provided that:

- (a) Residents of R-2 Senior Living Facilities shall be limited to: (i) a single person 55 years of age or older; (ii) two or three persons, all of whom are 55 years of age or older; (iii) a married couple, live-in companion, or partner, one of which is 55 years of age or older; (iv) the surviving spouse of a person 55 years of age or older, provided that the surviving spouse was duly registered as a resident of the development at the time of the elderly person's death; and (v) one adult 18 years of age or older residing with a person who is 55 years of age or older, provided that said adult is essential to the long-term care of the elderly person as certified by a physician duly licensed in New York State.

[1] Notwithstanding the foregoing, up to four (4) dwelling units within the community may be set aside to be occupied by a superintendent, building manager, or other staff member and their family, to which the limitations on occupancy set forth above shall not apply.

[2] Persons under the age of 55 not specifically permitted to be occupants shall not be permitted to be permanent residents of dwelling units. For the purposes of this section, a “permanent resident” shall mean any person who resides within the dwelling for more than three consecutive weeks or in excess of 30 days in any calendar year, or has listed the residence as an abode for any purpose whatsoever, including, but not limited to, enrollment in public or private schools. Temporary occupancy by guests of families shall be

permitted, provided that such occupancy does not exceed a total of 30 days in any calendar year.

[3] The limitations on occupancy shall be included in the marketing materials for the development as well as within the rules and regulations or terms of any leases, bylaws or covenants and restrictions for the development. Violations of the limitations on occupancy shall be enforceable by the City of Rye Building Inspector against the owner or lessee or the agent of any of them and shall be punishable by a fine of \$250 per day or by imprisonment not exceeding 15 days, or by both such fine and imprisonment. Exceptions to these regulations shall be granted if any limitations are determined to be in violation of any state or federal law.

[4] The Planning Commission shall have the right to require that the owner execute agreements and covenants as it may deem to be required during any site plan approval process as it may reasonably deem to be required to ensure compliance with the stated intent of this section. Said agreements or covenants shall be recorded in the office of the Westchester County Clerk and constitute a covenant running with the land. Such covenant or agreement may be modified or released only as set forth in said covenant or agreement or by the City Council.

- (b) The site for an R-2 Senior Living Facility shall have a minimum of 50 contiguous acres.
- (c) The floor area ratio shall not exceed 0.45.
- (d) Lot building coverage shall not exceed 15% and total impervious coverage shall not exceed 35%.
- (e) Building height shall not exceed four (4) stories or 60 feet. Where proposed buildings are set back at least 240 feet from the all property lines and wholly located within an area of said setback that can contain a horizontal square with 200-foot sides, the permitted maximum building height may be increased to five (5) stories and ~~75~~65 feet.
- (f) There shall be a minimum yard requirement of 160 feet for front yards and a minimum yard requirement of 160 feet for side and rear yards.

[1] Where an R-2 Senior Living Facility adjoins or is located across the street from a single-family residence or school, the required yard shall be planted and maintained with appropriate landscaping in keeping with the existing setting so as to provide effective visual screening, and shall contain no ~~parking buildings, or storage, or other program use~~. Nothing ~~herein in this Chapter~~ shall prohibit the placement of stormwater management facilities, sidewalks, gardening and passive recreation features, and/or access drives within the required ~~setback~~minimum yard.

[2] ~~The minimum yard requirement from Osborn Road. Where an R-2 Senior Living Facility is located across a non-State, non-County, or non-federally-~~

~~designated road from a one-family district, the minimum required setback from that road~~ shall be 240-300 feet.

- [3] Where an R-2 Senior Living facility adjoins or is located across the street from a use other than a single-family residence, Senior Citizens Apartment (RA-5 District), or school, required yard setbacks may be reduced to no less than 100 feet, provided that the maximum permitted area of the encroachment of the structure into this reduced setback shall be no more than 30% of the total area between each yard line and the standard 160-foot setback. Notwithstanding the foregoing, for all new buildings and structures, a minimum setback of 160 feet shall be maintained from Old Boston Post Road.
- [4] The provisions of § 197-52 shall not apply to R-2 Senior Living Facilities.

- (g) Notwithstanding the provisions of the foregoing paragraph (f), New parking areas and roadways may be located in required yards, but in no case shall a parking area or non-access roadway be located closer than 40 feet to a property line or 240 feet to a property line bordering Osborn Road.
- (h) There shall be a minimum distance of 20 feet between all buildings. Notwithstanding the foregoing, buildings may be connected by exterior paved pathways or interior corridors. The provisions of § 197-70 shall not apply to R-2 Senior Living Facilities.
- (i) For independent living units in R-2 Senior Living Facilities, the minimum amount of residential floor area in each unit shall be 750 square feet for one bedroom units, 900 square feet for two bedroom units, and 1,100 square feet for three bedroom units. For assisted living units, the minimal amount of residential floor area shall be 200 square feet. The provisions of § 197-44.B shall not apply to R-2 Senior Living Facilities.
- (j) On any lot used for an R-2 Senior Living Facility, at least 60% of the property shall be preserved as open space. The provisions of § 197-68 shall not apply to R-2 Senior Living Facilities.
- (k) Off-street parking for R-2 Senior Living Facilities shall be provided as follows:
[1] For independent living units: 1.05 spaces per dwelling unit.
[2] For assisted living, skilled nursing, nursing home, and memory care facilities: 0.25 spaces per bed.
- (l) The provisions of Chapter 197, Attachment 1, entitled “Table A: Residence Districts” shall not apply to R-2 Senior Living Facilities.
- (m) The provisions of § 197-8.A and C shall not apply to R-2 Senior Living Facilities.
- (n) Notwithstanding any of the foregoing, any building, structure or use existing on the effective date of this section which does not conform to the provisions of this section may be continued subject to the requirements of Article III of this chapter.

Section Two. If any section, subsection, clause, phrase or other portion of this Local Law is, for any reason, declared invalid, in whole or in part, by any court, agency, commission, legislative body or other authority of competent jurisdiction, such portion shall be deemed a separate distinct and independent portion. Such declaration shall not affect the validity of the remaining portions hereof, which other portions shall continue in full force and effect.

Section Three. This Local Law shall take effect immediately upon filing with the Secretary of State.

Schedule A - Zoning Comparison Table

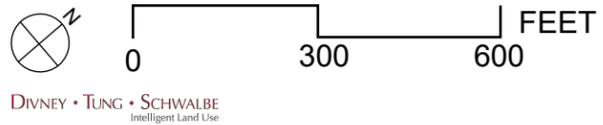
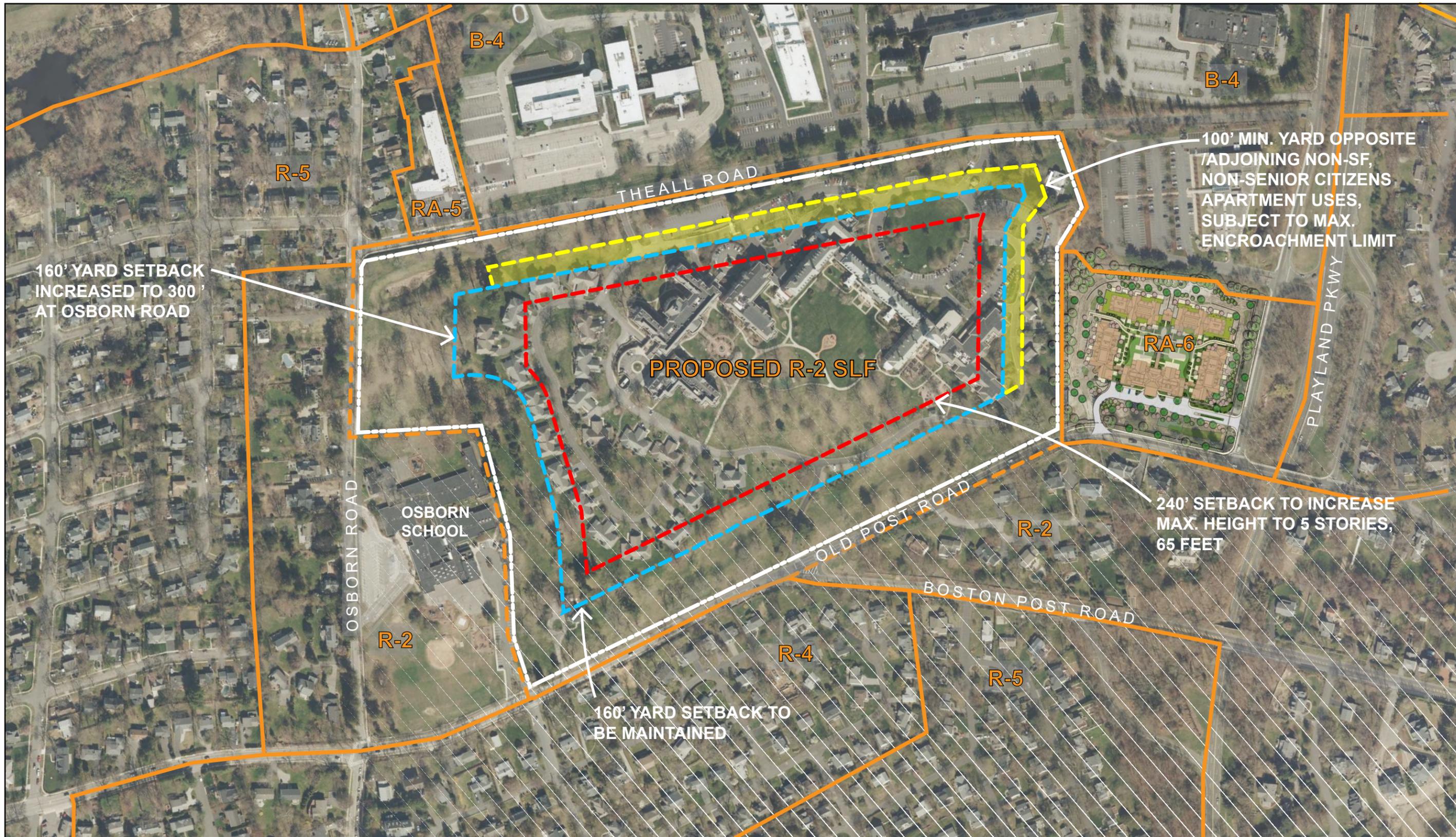
Comparative Zoning Table

Zoning Standard	The Osborn - Existing Conditions	1993 Declaration	R-2 District	RA-6 District (St. Regis Residences)	Proposed Local Law (Nov. 2018)	Proposed Local Law (rev. Mar. 2020)	Proposed Local Law (rev. Feb. 2021)
Max FAR	0.26	0.3	0.2	0.75	0.5	0.45	0.45
Min. Lot Size	55.79 ac 2,430,182 sf	50 ac	.5 ac / family	2,500 sf / family	50 ac	50 ac	50 ac
Min. Yards (ft)						(f)	(j)
Front	174 (a)	160	35	150 (d)	150 (c)	160 (g, h)	160 (k, l)
One side	161 (b)	160	15	50	50	160 (g, h)	160 (k, l)
Two sides		-	40	100			
Rear	161 (c)	160	40	50	50	160 (g, h)	160 (k, l)
Max. Height							
Stories	5	5	2.5	4	5	4 / 5 (i)	4 / 5 (m)
Feet	64	75	32	45	60	60 / 75 (i)	60 / 65 (m)
Max. Building Coverage	11.53%	15%	-	35%	20%	15%	15%
Max. Site Impervious Coverage	26.50%	30%	-	-	35%	35%	35%

Notes

- (a) Pre-1993 building - 120 feet
- (b) Pre-1993 building - 53 feet
- (c) Pre-1993 building - 120 feet
- (d) Per §197 Table A, note (k), "The required front yard setback can be reduced to no less than 100 feet, provided that the maximum permitted area of the encroachment of the structure into this reduced setback shall be less than 15% of the total area between the front yard line and the standard 150' setback."
- (e) Proposed - Required front yard setbacks may be reduced to no less than 60 feet, provided that the maximum permitted area of the encroachment of the structure into this reduced setback shall be no more than 25% of the total area between the front yard line and the standard 150-foot setback. Notwithstanding the foregoing, for all new buildings and structures, a minimum setback of 150 feet shall be maintained from Old Boston Post Road.
- (f) Proposed - Where an R-2 Senior Living Facility adjoins or is located across the street from a single-family residence or school, the required yard shall be planted and maintained with appropriate landscaping so as to provide effective visual screening, shall contain no parking, storage or other program use, may contain stormwater management facilities, and shall be crossed only by sidewalks and access drives.
- (g) Proposed - Where an R-2 Senior Living Facility is located across a non-State, non-County, or non-federally-designated road from a one-family district, the minimum required setback from that road shall be 240 feet.
- (h) Proposed - Where an R-2 Senior Living Facility adjoins or is located across the street from other than a single-family residence or school, the required setback can be reduced to no less than 100 feet, provided that the maximum permitted area of the encroachment of the structure into this reduced setback shall be less than 30% of the total area between each yard line and the standard 160' setback.
- (i) Proposed - Where proposed buildings are set back a minimum of 240 feet from a boundary line and can be wholly located within an area of said setback that can contain a horizontal square with 200-foot sides, the permitted maximum height may be increased to 5 stories, 75 feet.
- (j) Proposed - Where an R-2 Senior Living Facility adjoins or is located across the street from a single-family residence or school, the required yard shall be planted and maintained with appropriate landscaping in keeping with the existing setting so as to provide effective visual screening and shall contain no permanent structures or storage. Such required yard may contain stormwater management facilities, sidewalks and other passive recreation features, and access drives.
- (k) Proposed - The minimum yard requirement from Osborn Road shall be 300 feet. The minimum required setback from Osborn Road for parking or non-access roadways shall be 240 feet.
- (l) Proposed - Where an R-2 Senior Living Facility adjoins or is located across the street from other than a single-family residence, senior apartment or school, the required yard setback can be reduced to no less than 100 feet, provided that the maximum permitted area of the encroachment of the structure into this reduced setback shall be less than 30% of the total area between each yard line and the standard 160' setback.
- (m) Proposed - Where proposed buildings are set back a minimum of 240 feet from a boundary line and can be wholly located within an area of said setback that can contain a horizontal square with 200-foot sides, the permitted maximum height may be increased to 5 stories, 65 feet.

Schedule B - Zoning Setback Map



PROPOSED R-2 SLF ZONING DIAGRAM

THE OSBORN
RYE, NEW YORK

Exhibit V.1- 4
Rev. May 2020
March 2021

Exhibit A - Illustrative Concept Plan



Exhibit B - Planting Plan and Renderings

The Osborn
Rye, New York

Concept Planting Plan and Views to Campus

As stated in The Osborn's Zoning Petition, since its founding over 100 years ago "trees have always been integral elements of the Osborn campus plan." In coordination with its architect's Illustrative Site Diagram included at Tab 2, The Osborn commissioned landscape architect Towers Golde to prepare a concept plan for perimeter tree plantings to augment the existing trees at the south end of its campus. These trees would be a mix of deciduous and evergreen species, consistent with and complementary to the existing Osborn trees that help to create its parklike setting. See Figure 1-1, *Campus Perimeter Concept Planting Plan – South*.

In response to the City Council's request, Towers Golde also prepared a series of views to the Osborn campus from five viewpoints along the south perimeter, including three views along Osborn Road and one each along Boston Post Road and Theall Road. See Viewpoints A through E as marked on Figure 1-1. Two existing photos and two illustrative visual simulations are provided for each viewpoint:

- Existing Conditions – Summer
- Illustrative Simulation – Summer
- Existing Conditions – Winter
- Illustrative Simulation - Winter

The Illustrative Simulations include the supplemental perimeter tree plantings from the Towers Golde concept plan and the potential building locations and heights from the Illustrative Site Diagram as may be seen from the five viewpoints. See Figures 1-2 through 1-21.

Future site plan applications for new Osborn improvements would include detailed site plans, landscape plans, and building plans and elevations as required by the Rye Planning Commission. Illustrative simulations would also be prepared to depict the then-proposed plantings and buildings from appropriate viewpoints.



Campus Perimeter Concept Planting Plan – South

THE OSBORN - RYE, NEW YORK

DATE: MARCH 7, 2022

















TOWERS | GOLDE
85 Willow Street
New Haven, Connecticut 06511
203 773 1153
www.towersgolde.com

VIEW B - ILLUSTRATIVE SIMULATION: WINTER
THE OSBORN - RYE, NEW YORK

MARCH 7, 2022



















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New Haven, Connecticut 06511
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www.towersgolde.com

VIEW E - EXISTING CONDITIONS : SUMMER
THE OSBORN - RYE, NEW YORK

MARCH 7, 2022



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VIEW E - ILLUSTRATIVE SIMULATION : SUMMER
THE OSBORN - RYE, NEW YORK

MARCH 7, 2022





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VIEW E - ILLUSTRATIVE SIMULATION: WINTER
THE OSBORN - RYE, NEW YORK

MARCH 7, 2022

Exhibit C - Property Value Analysis

The Osborn
Rye, New York

Proposed Osborn Zoning Amendments and Residential Property Values

The Rye City Council has requested that The Osborn provide information related to its proposed zoning amendment's potential effect on nearby residential property values in response to concerns voiced by residents during public hearings. As detailed in its March 2020 Zoning Petition ("Zoning Petition"), The Osborn believes that both its landscaped campus and the community-oriented activities and outreach it has engaged in since its founding in 1908 have had and continue to have beneficial effects on the surrounding neighborhood and the City of Rye. To address the City Council's request, however, we offer the following analysis of nearby residential property sales prices recorded over the past 37 years.

As also described in the Zoning Petition, in 1991 The Osborn began a comprehensive planning process to renovate and construct buildings on its campus to create a sustainable senior living community with independent and assisted living opportunities and skilled nursing services. After securing the required approvals from the City of Rye, The Osborn's Pathway 2000 program was constructed in a series of phased projects from 1994 through 2002. The new Pathway 2000 improvements included 20 duplex garden homes, three multistory apartment buildings, resident common areas, a skilled nursing facility and supporting site infrastructure.

Through the on-line portal for the Westchester County Clerk (<https://wro.westchesterclerk.com/>), we compiled the deeds for the 92 transfers for consideration that were recorded between 1984 and 2021 for 44 residential properties located proximate to The Osborn campus. See Fig. No. 1, Map of Nearby Residential Properties, showing the subject properties. As of 1984 in the Rye area, the Westchester County Recording and Endorsement Page recorded with each deed included the reported consideration paid or sales price.

Sales prices recorded by year for each of the subject properties are shown in Attachment A. Corresponding endorsement pages are provided in Attachment B. As all properties within the study area are different, and house attributes on individual properties may change over time, we have not sought to analyze the sales data for individual properties or individual years. We have instead aggregated the compiled data into two graphs:

- Osborn-Proximate Single-Family Homes - Recorded Sales Prices by Year (Fig. No. 2)
 - A colored vertical line indicates the reported sale price of each property for which a transfer for consideration was recorded from 1984 to 2021.
 - The number of transfers per year varied from zero to five during that period.
 - Properties for which no transfers for consideration occurred during the study period (of which there were six) do not appear on this graph.
 - The Osborn Pathway 2000 construction period is noted as occurring between 1994 and 2002.
 - Recorded sales prices ranged from an average of approximately \$251,000 in 1984 (three transfers) to approximately \$1,945,000 in 2021 (two transfers).

- Osborn-Proximate Single-Family Homes – Changes in Reported Sales Price By Property Over Time (Fig. No. 3)
 - A colored dot represents the reported sales price for each property for which a transfer for consideration was recorded from 1984 to 2021.
 - Where more than one transfer for consideration was recorded for a property, a line of the same color connects that property’s dots.
 - Properties for which no transfers for consideration occurred during the study period (of which there were six) do not appear on this graph.
 - The Osborn Pathway 2000 construction period is noted as occurring between 1994 and 2002.
 - Of the approximately 54 paired recorded transfers for consideration for individual properties (a sale followed by a subsequent sale) during the study period, only two show a lower sales price for the second sale, and only one of those overlaps the Pathway 2000 period.

We believe that both graphs show a generally upward movement in sales prices for residential properties proximate to The Osborn between 1984 and 2021. This increase in prices may well be due to a combination of factors, including individual property improvements, the Rye community, and the single-family real estate market over time. It does not appear from the graphs, however, that the construction or subsequent occupancy of The Osborn’s Pathway 2000 buildings beginning in 1994 has had an ascribable effect on that generally upward movement of nearby residential sales prices.

Under the 1993 Declaration of Covenants and Restrictions¹, The Osborn’s 55.79-acre site is subject to a maximum floor area ratio (“FAR”) of 0.30, which would currently allow for the construction of approximately 97,000 square feet of new buildings. Buildings are limited to a height of five stories or

¹ See Osborn Zoning Petition section V.1.B.

seventy-five (75) feet and may be located no closer than 160 feet of its boundaries, which extend along Boston Post Road, Osborn Road and Theall Road. All new Osborn building and site improvements would be required to obtain site plan approval from the Rye Planning Commission.

Per its proposed Zoning Petition to the City Council, The Osborn seeks to increase its permitted FAR to 0.45 in combination with increasing minimum building setbacks, reducing permitted building heights along the site perimeter, and specifying requirements for perimeter landscape plantings among other “R-2 Senior Living Facilities” zoning provisions. These provisions, proposed to provide greater physical and visual separation between new Osborn buildings and neighboring properties than the 1993 Declaration required, have undergone numerous revisions since February 2019 with input from the City Council, the Planning Commission, and the public.

Potential locations for future Osborn buildings and site improvements are shown on the Illustrative Site Diagram. All future improvements will be documented in detail, submitted for Planning Commission site plan review, and constructed in phases to become integrated components of The Osborn and the surrounding community, as were the buildings, landscaping and sitework comprising the earlier Pathway 2000 improvements. Based on the foregoing analysis and The Osborn’s ongoing commitments to its residents, neighbors and the City of Rye, we do not anticipate any significant effects on sales prices for surrounding residential properties from The Osborn’s proposed zoning amendments or future improvements that would be constructed under those zoning provisions.

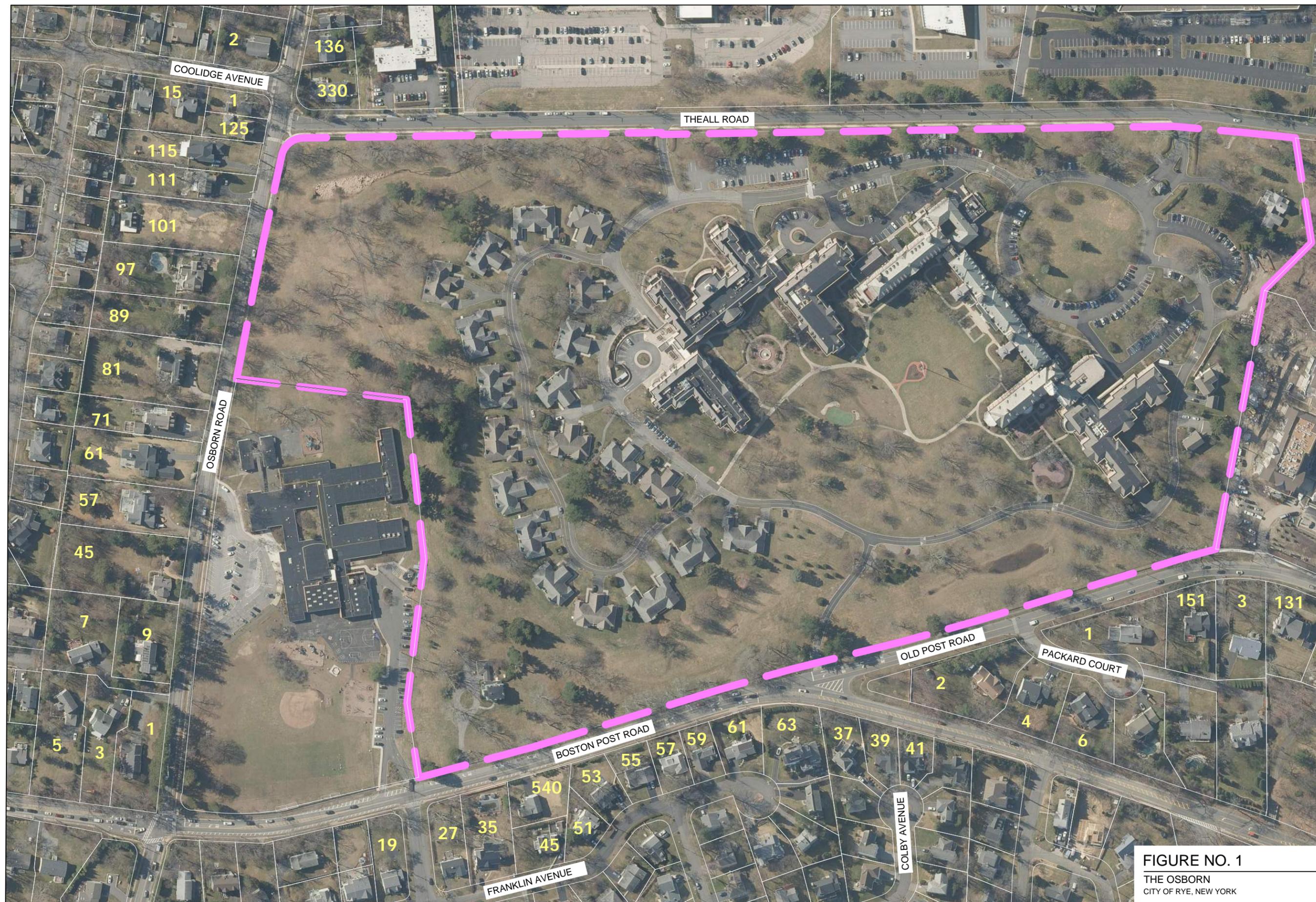


FIGURE NO. 1
THE OSBORN
CITY OF RYE, NEW YORK

Osborn- Proximate Single Family Homes - Change in Recorded Sales Prices by Property Over Time Westchester County Land Records

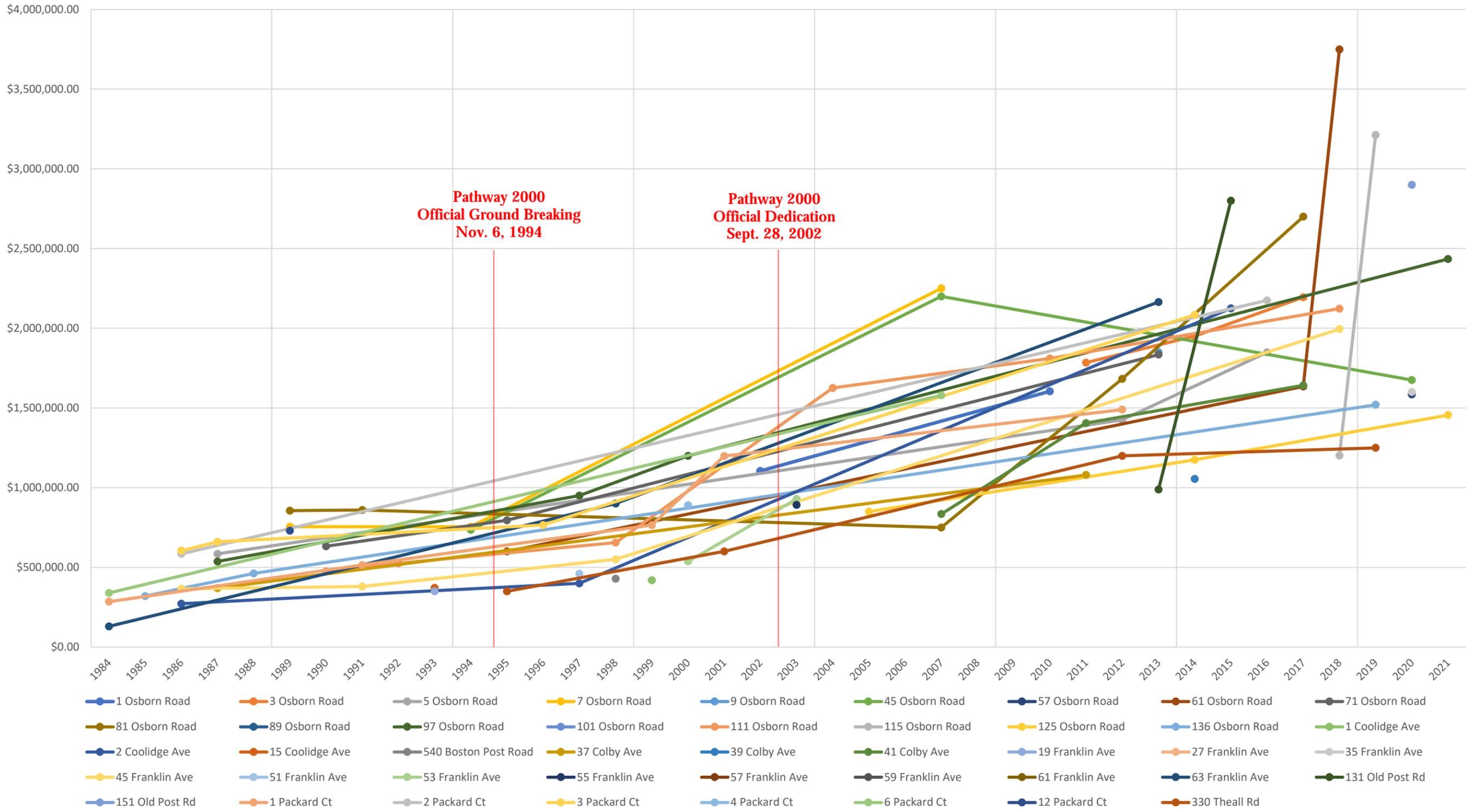
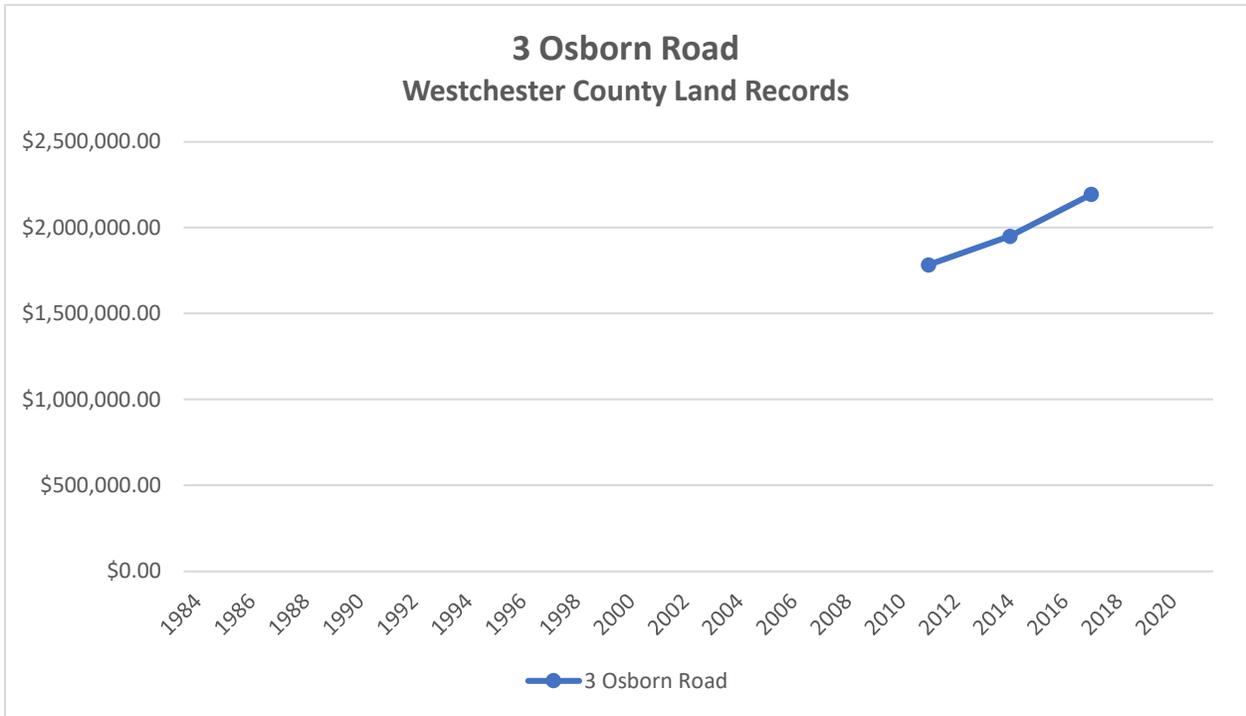
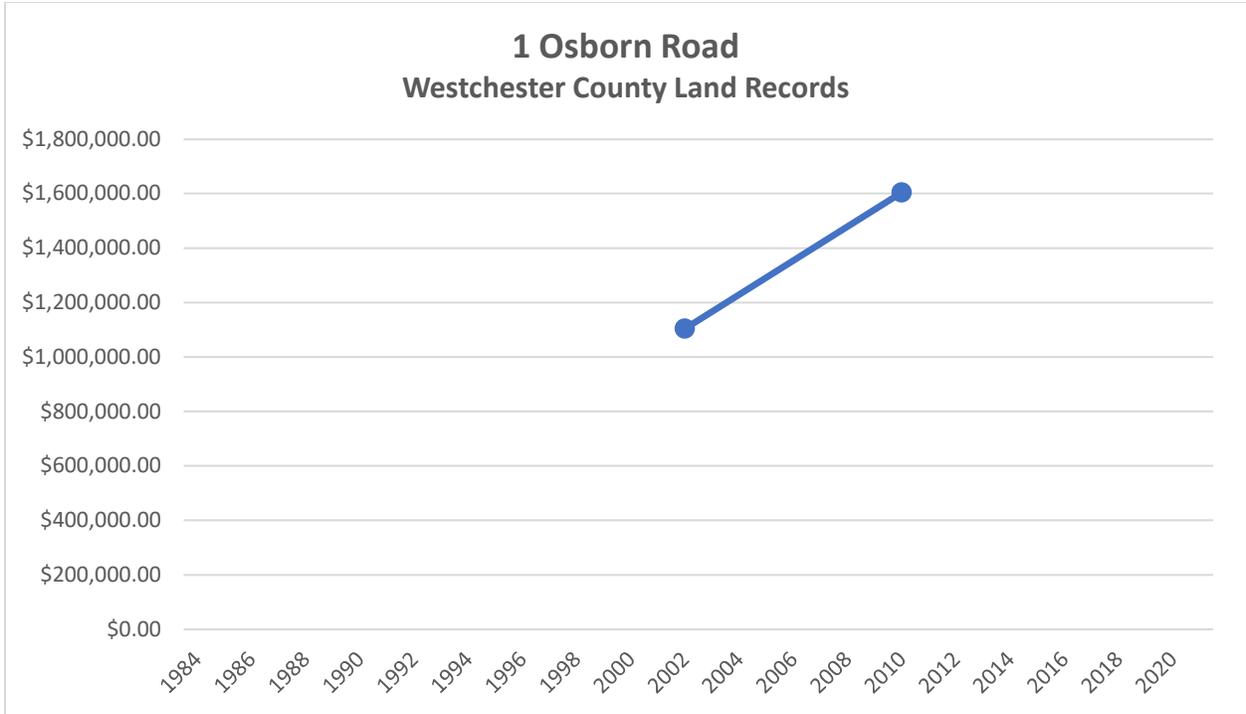


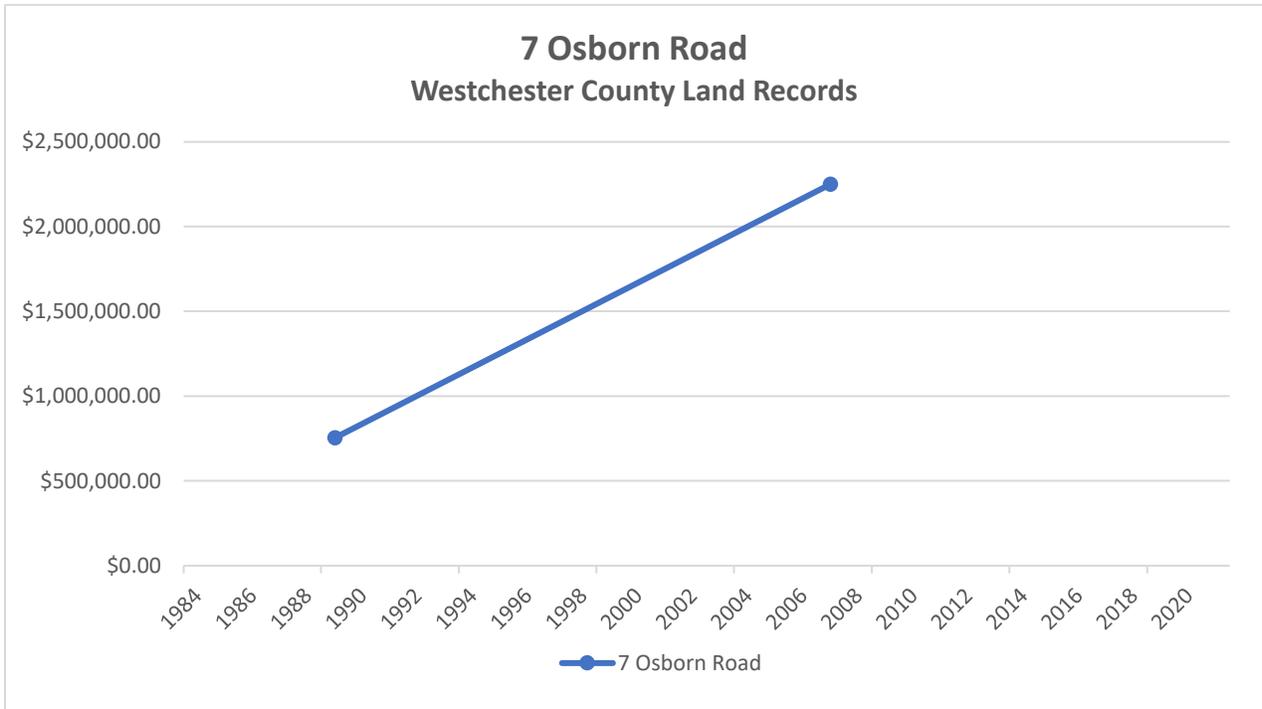
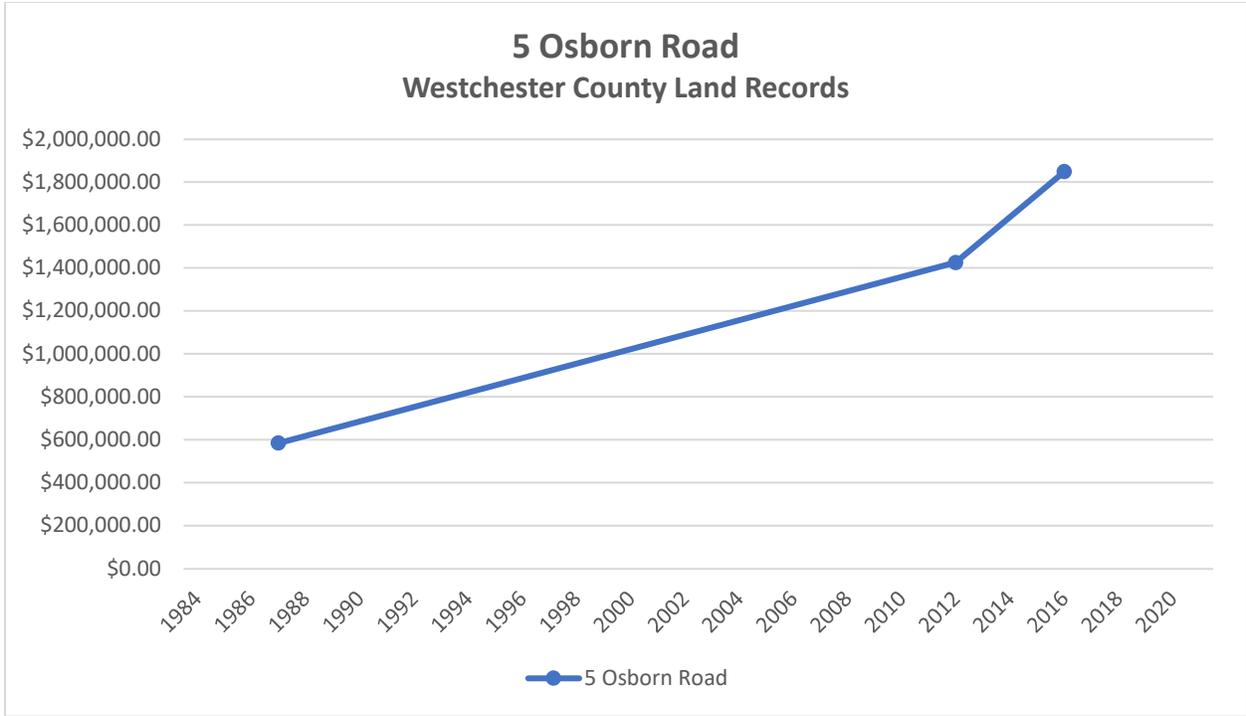
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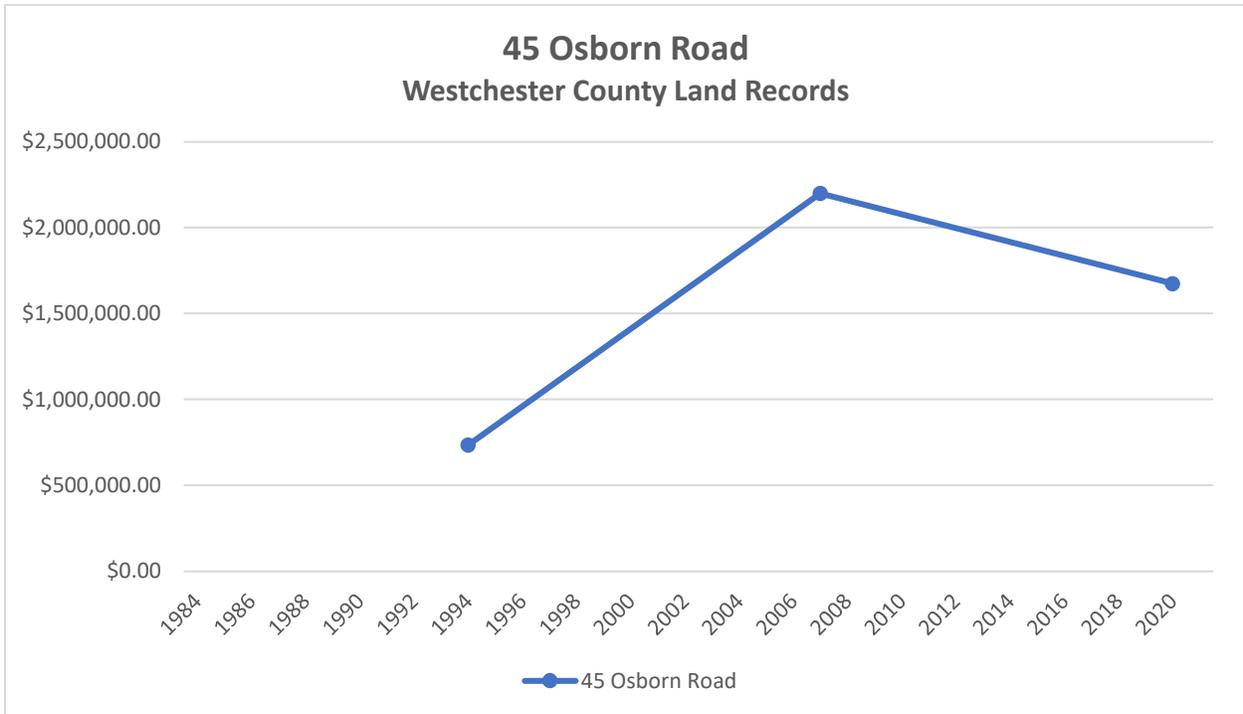
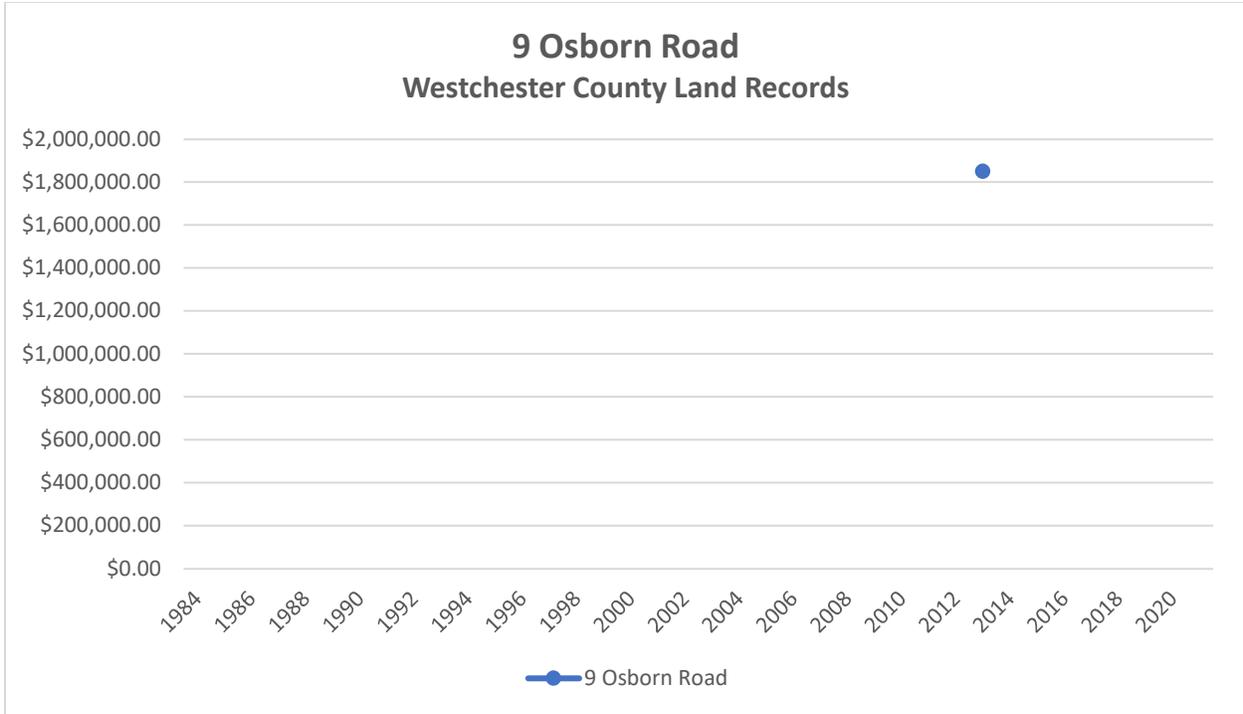
The Osborn
Rye, New York

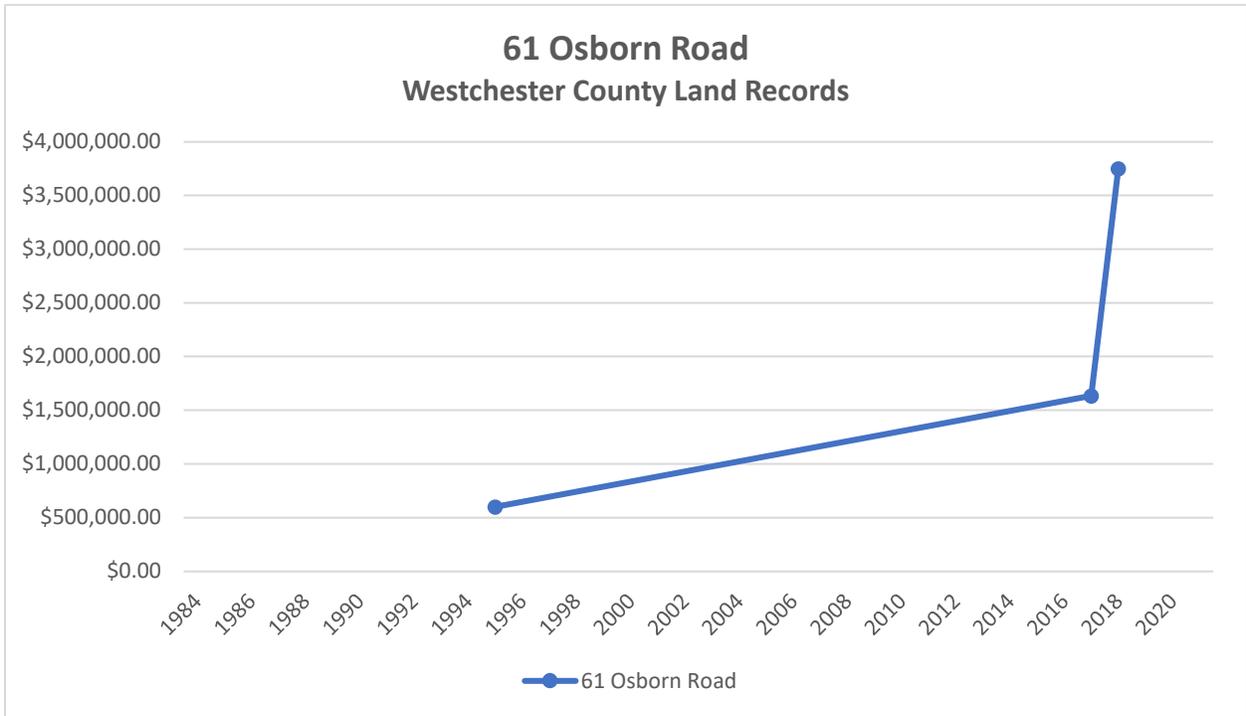
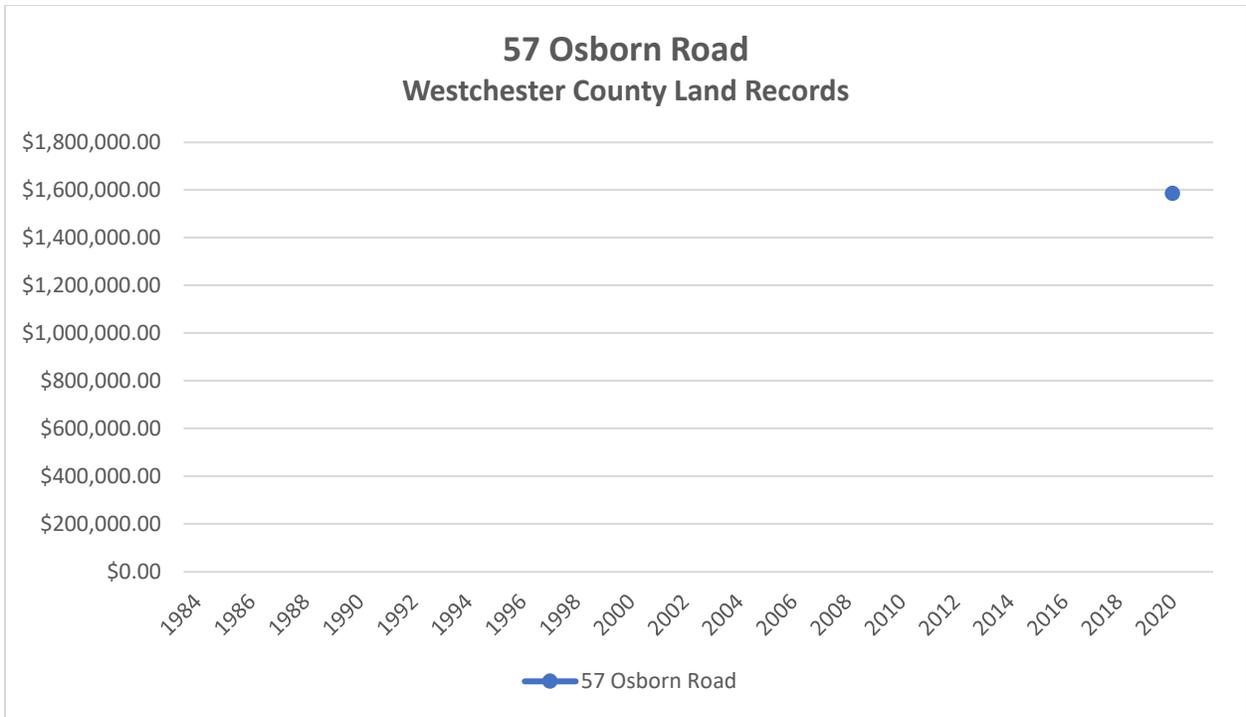
Proposed Osborn Zoning Amendments and Residential Property Values

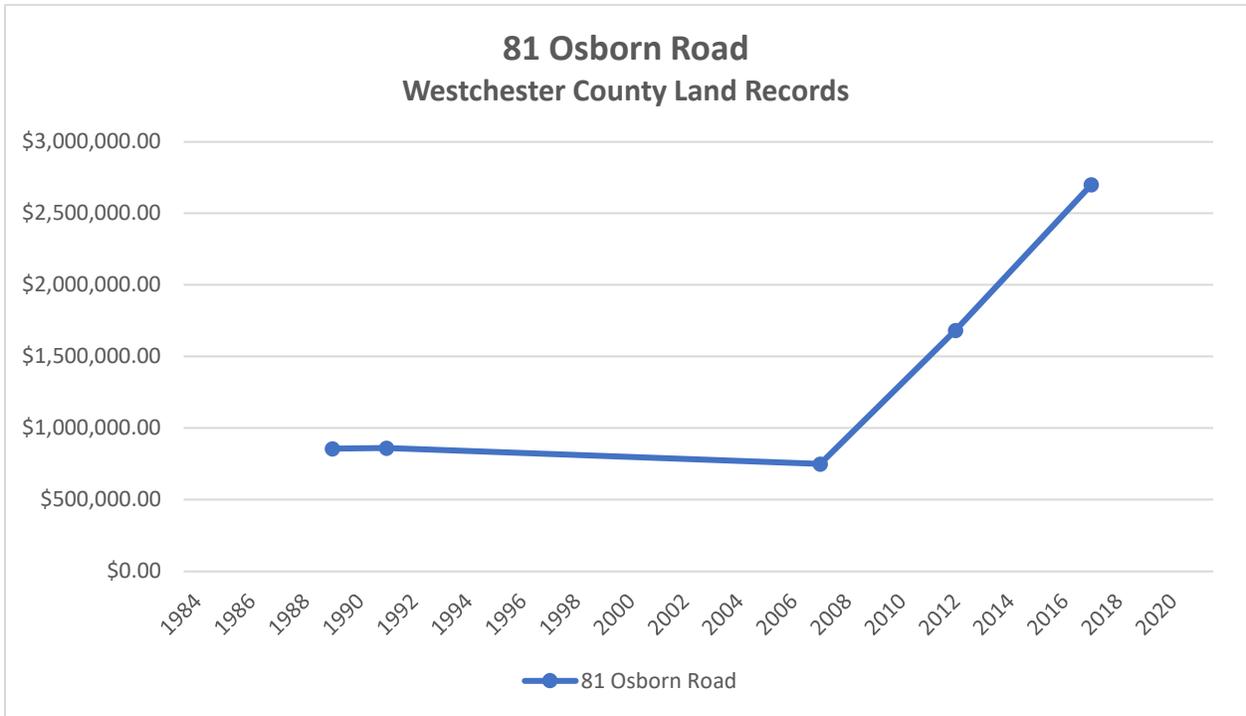
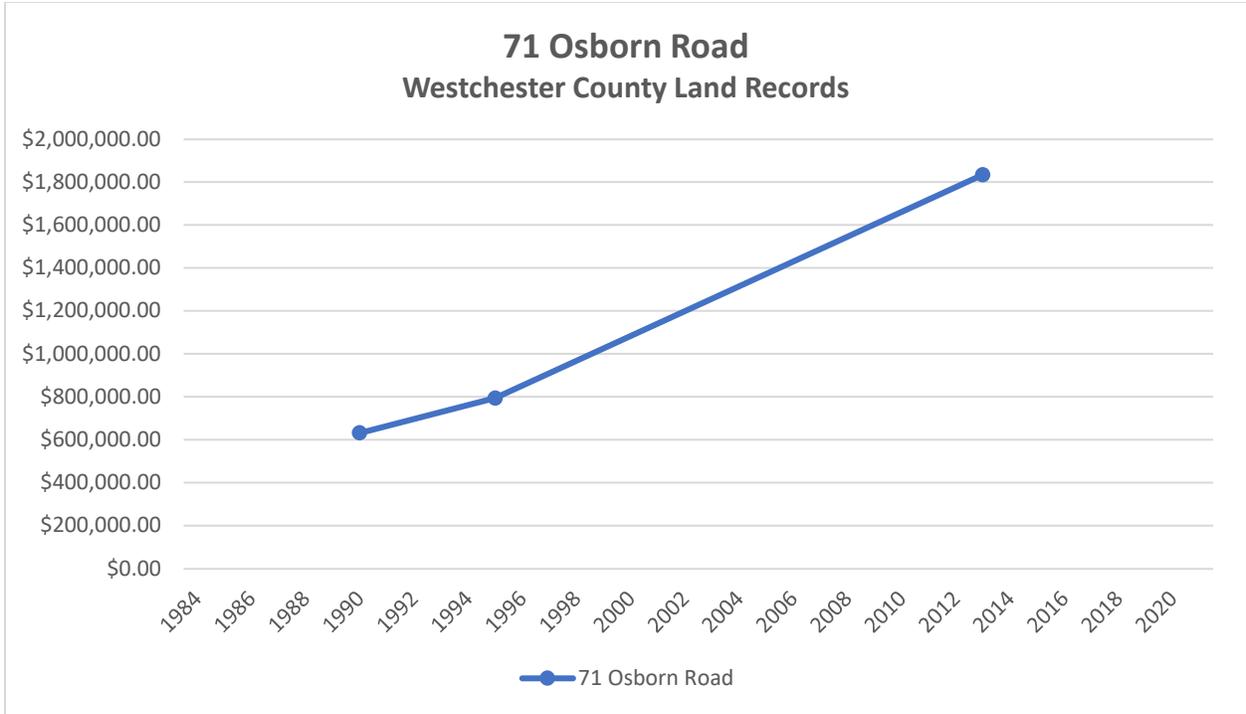
ATTACHMENT A

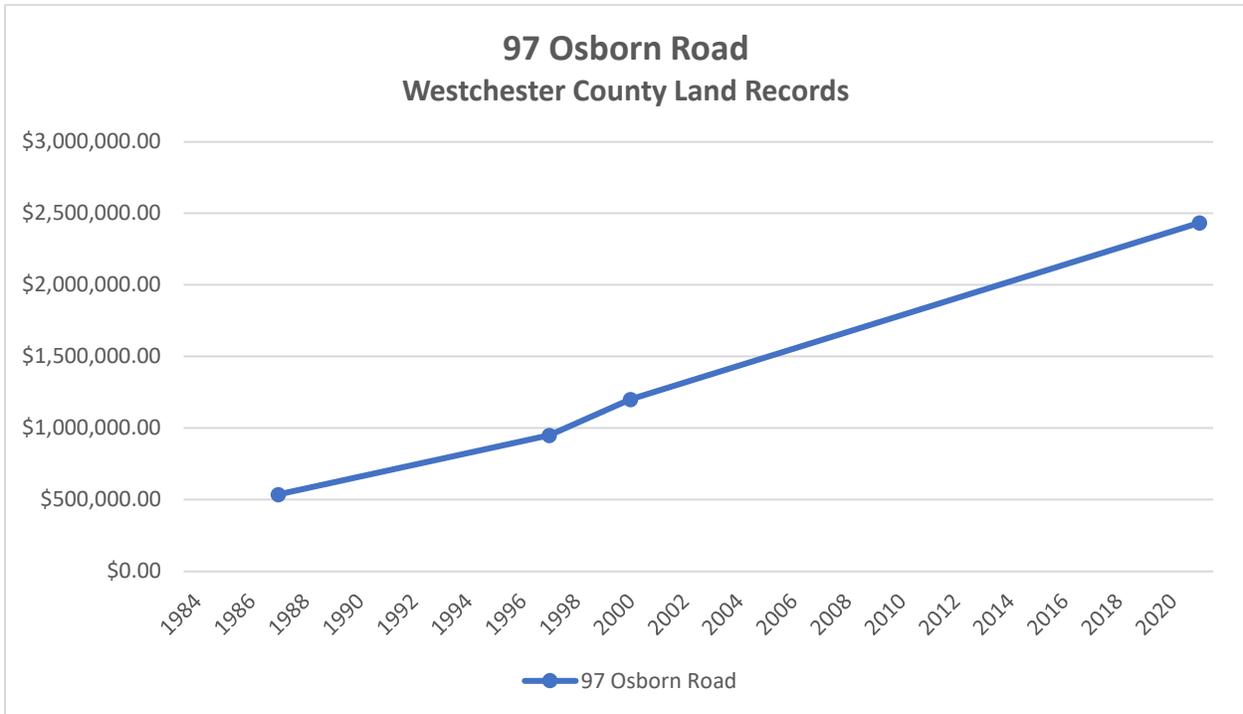
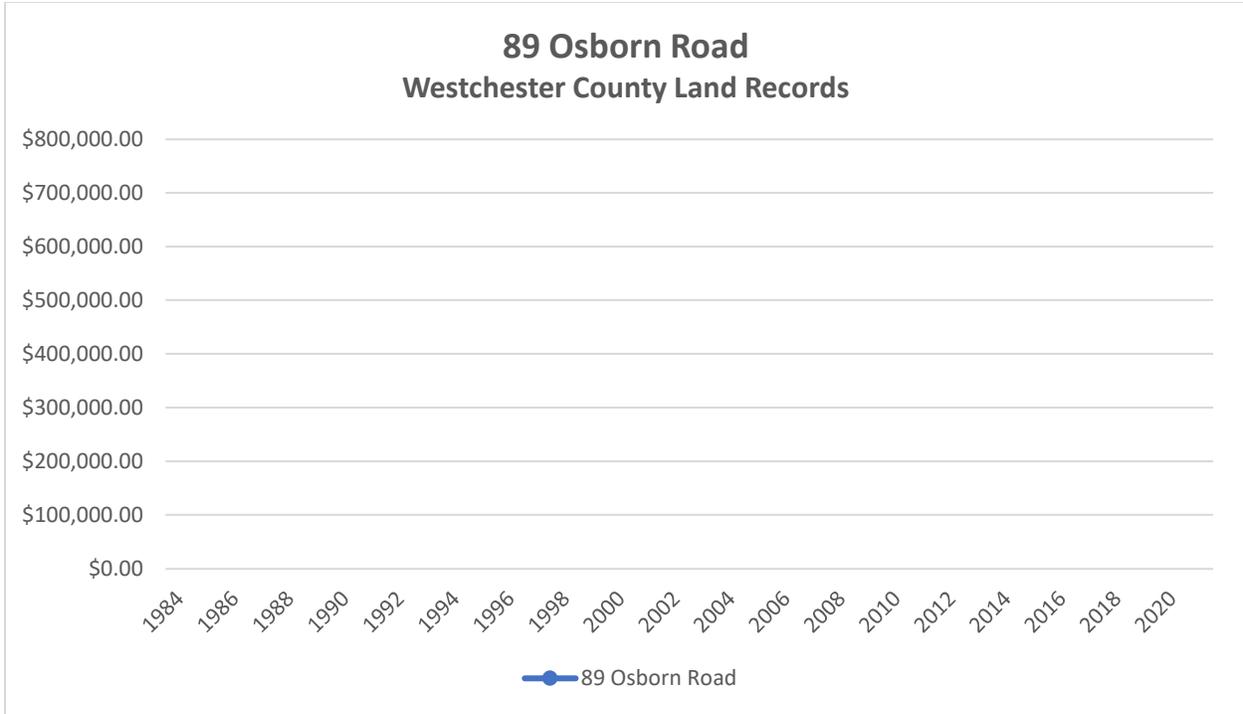


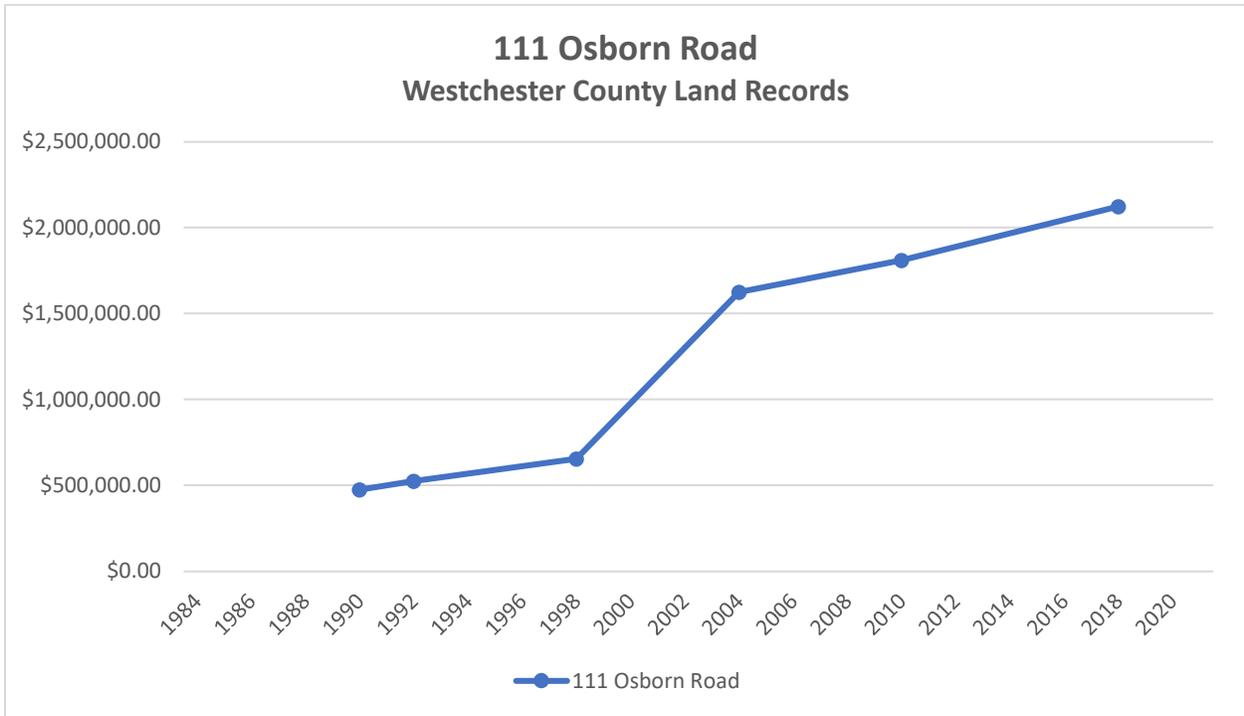
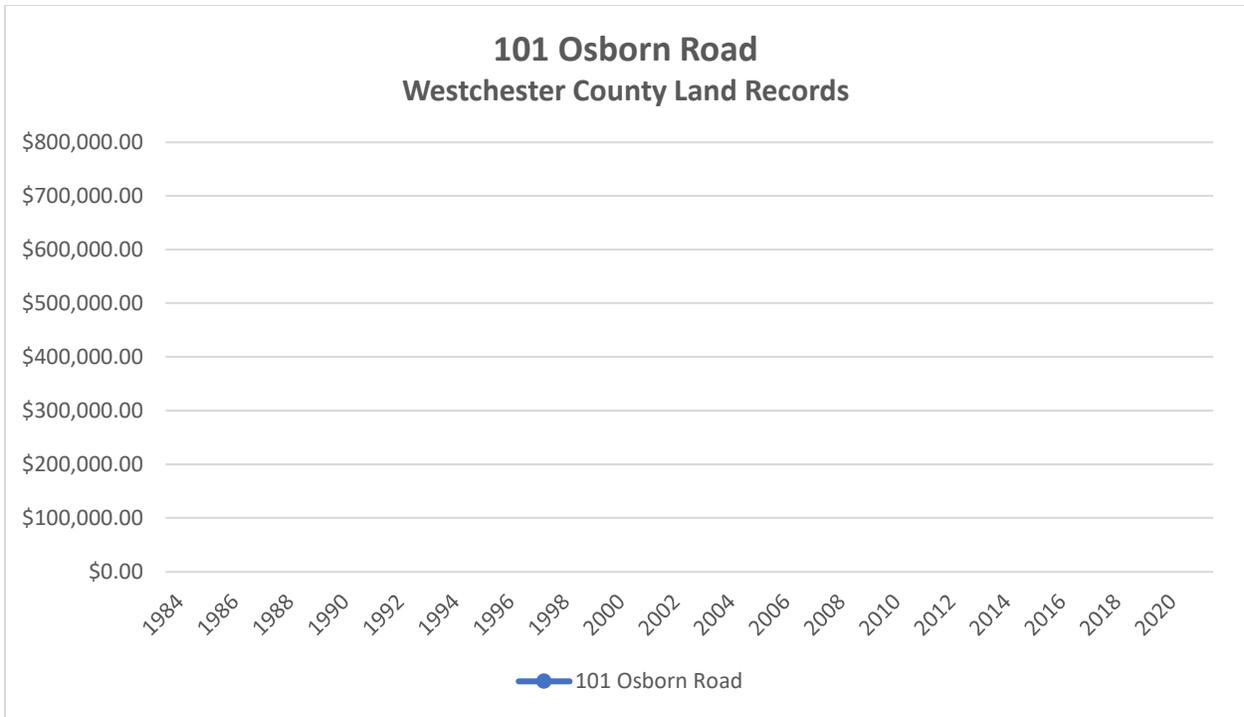


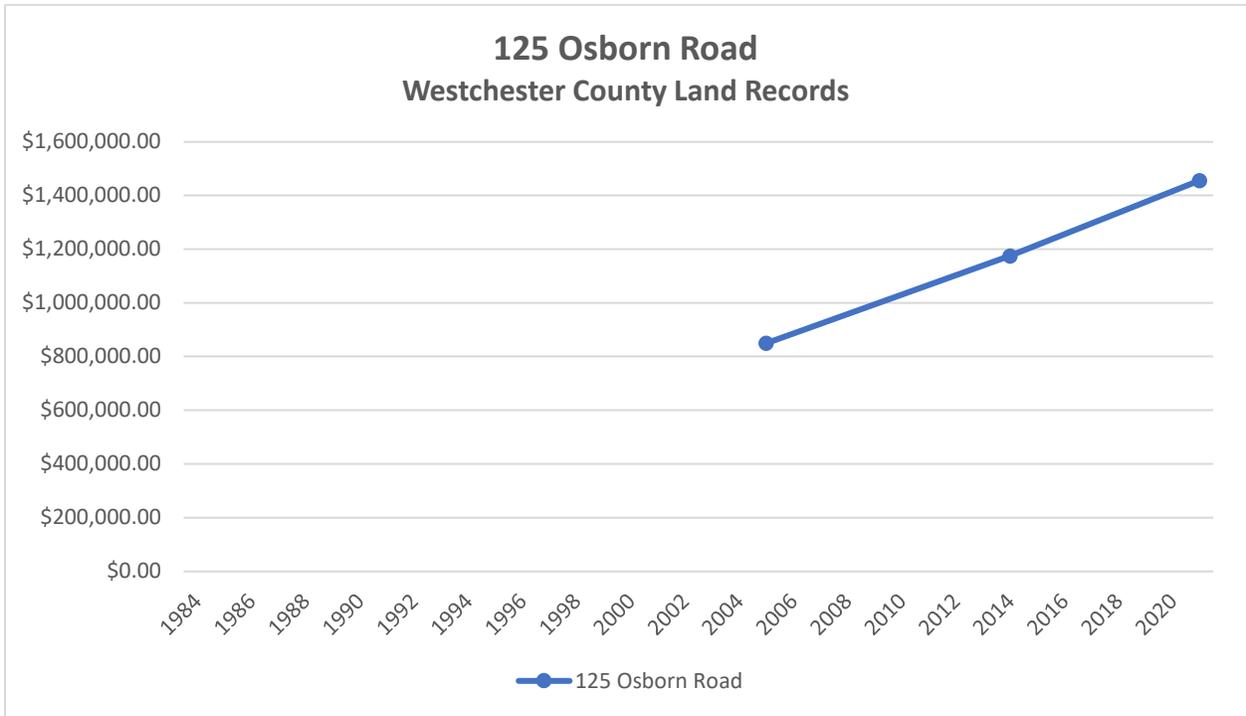
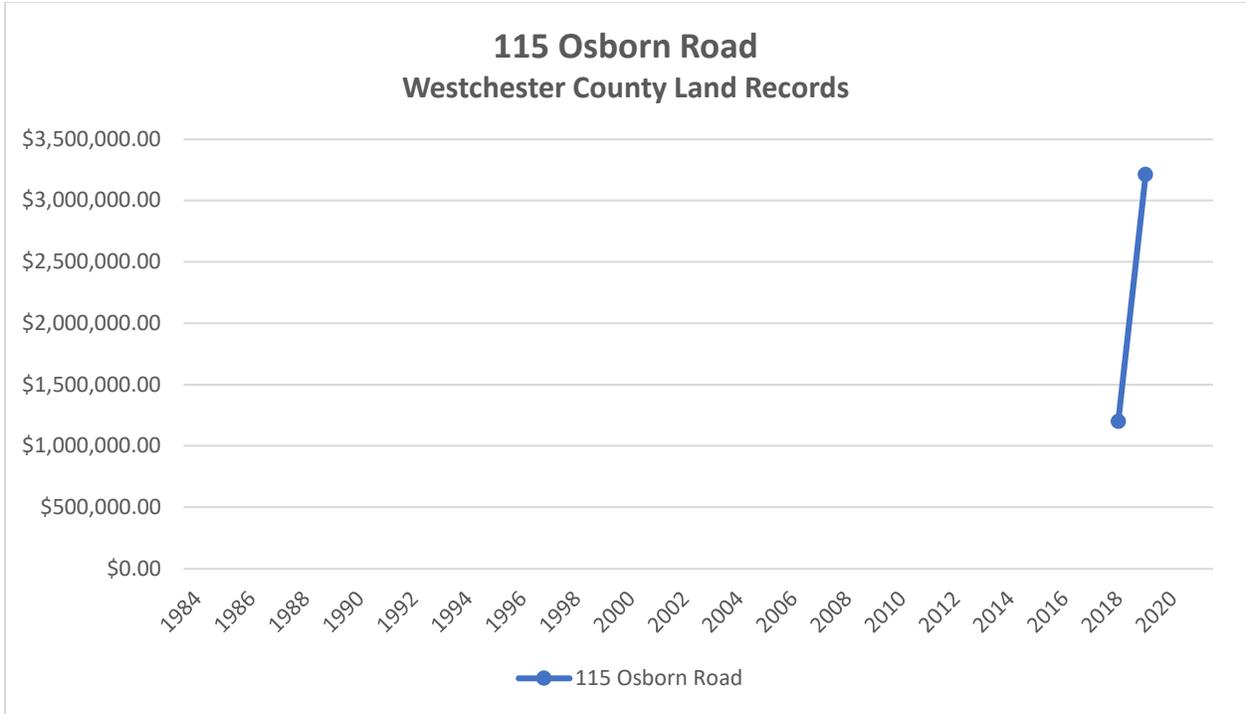


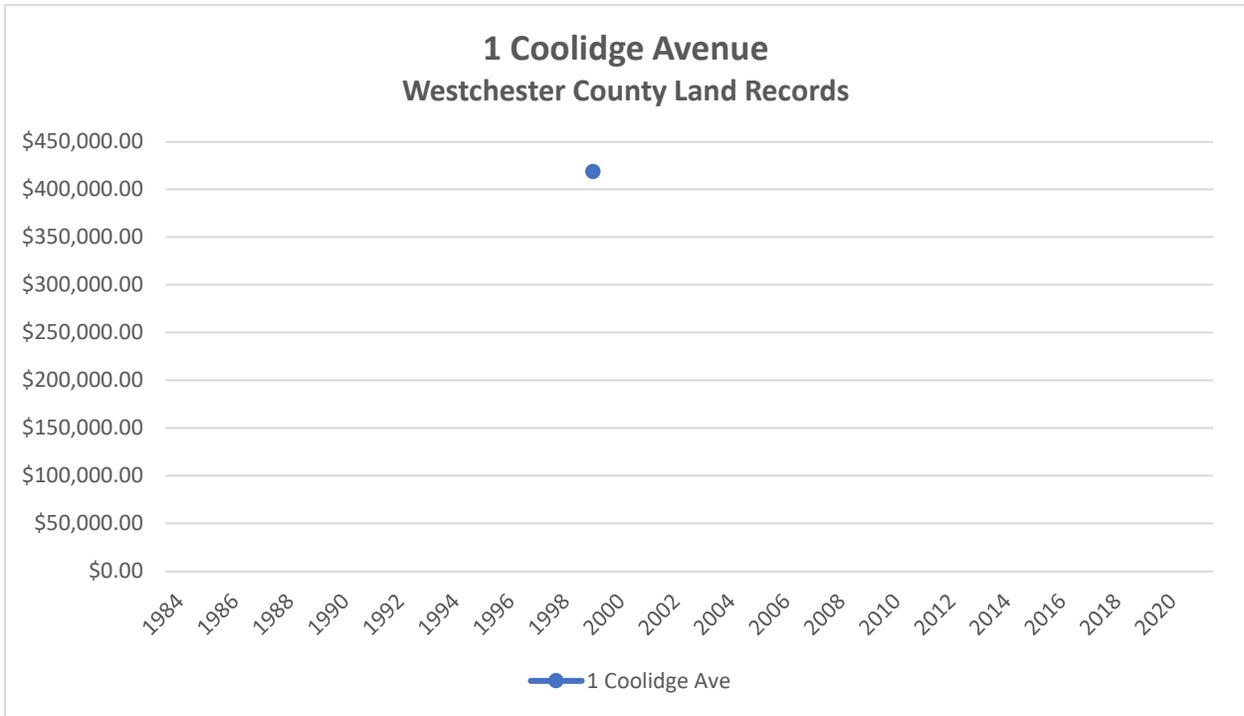
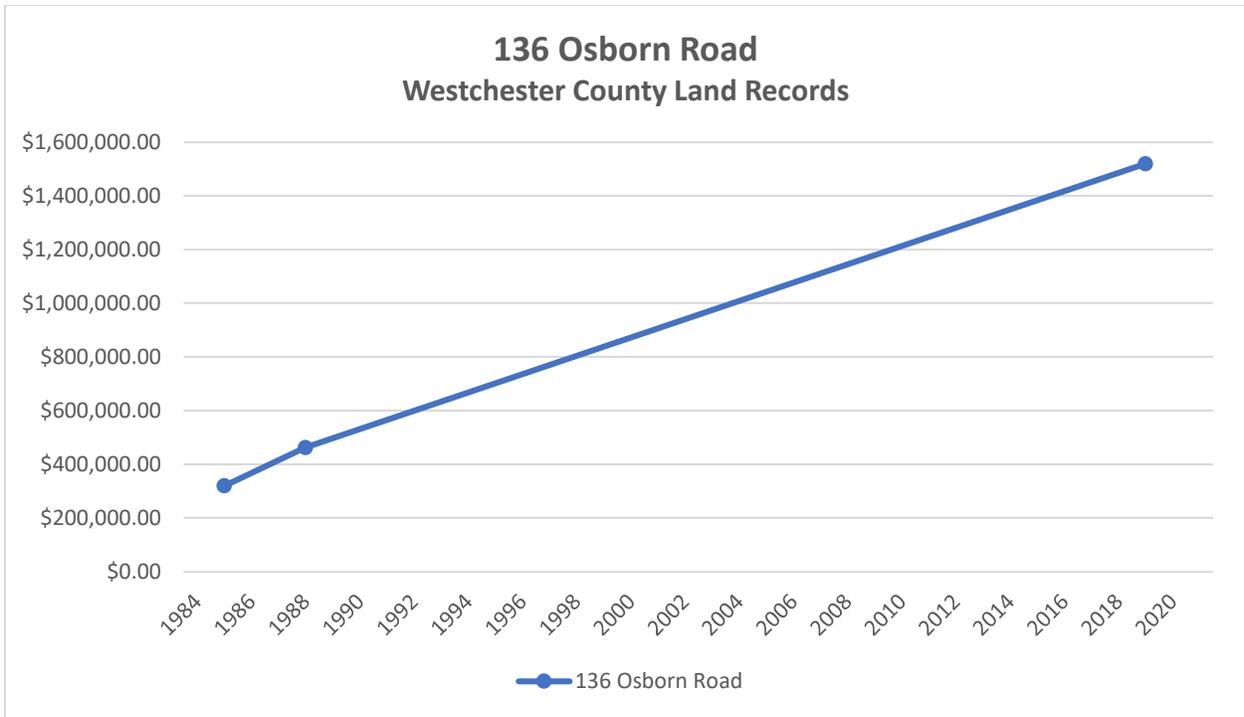


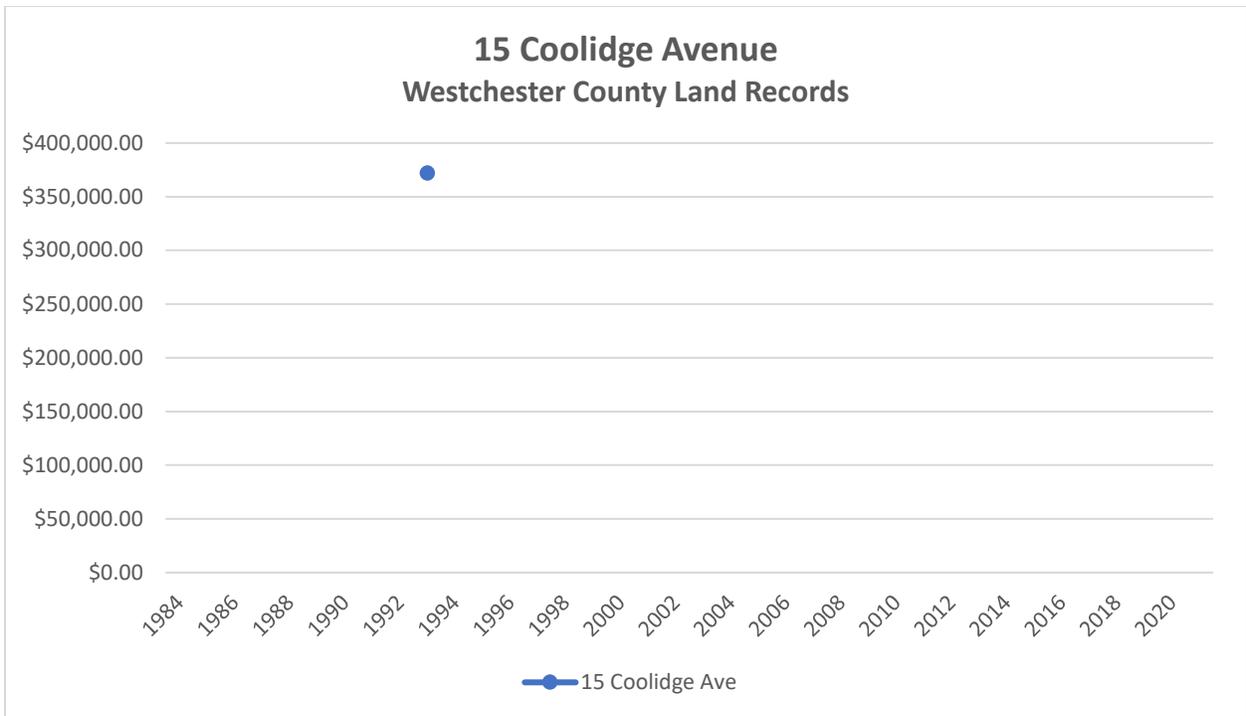
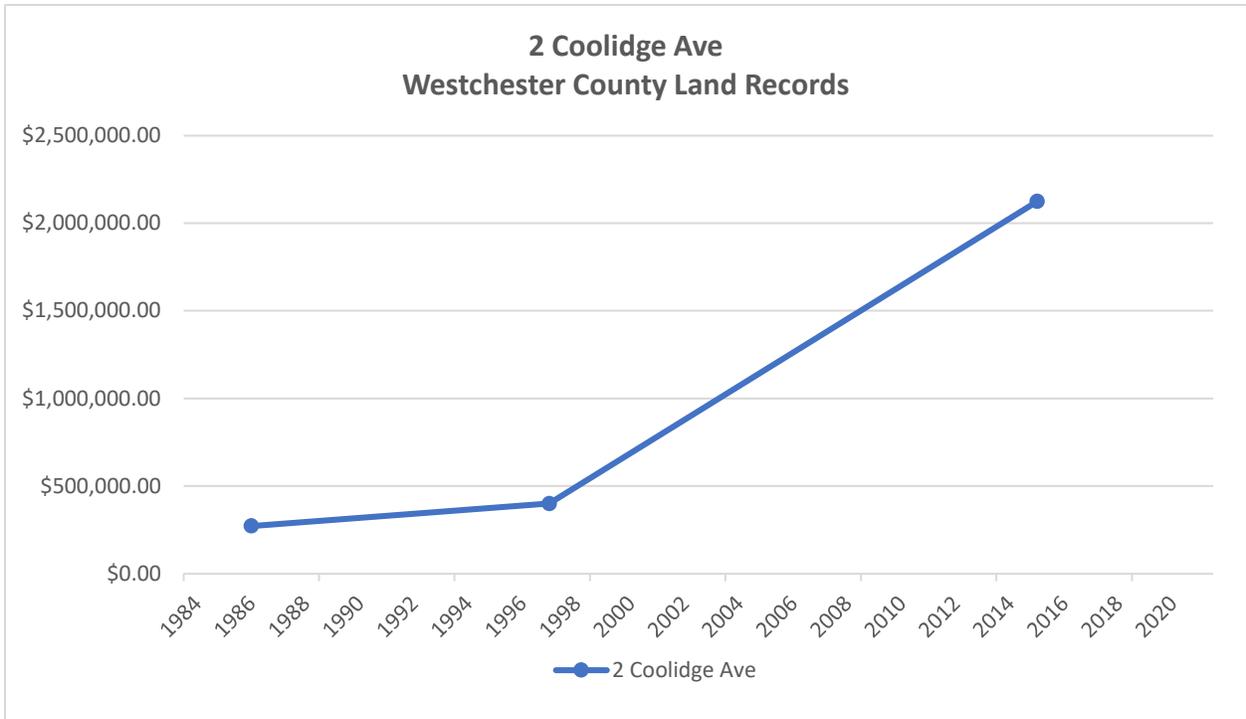


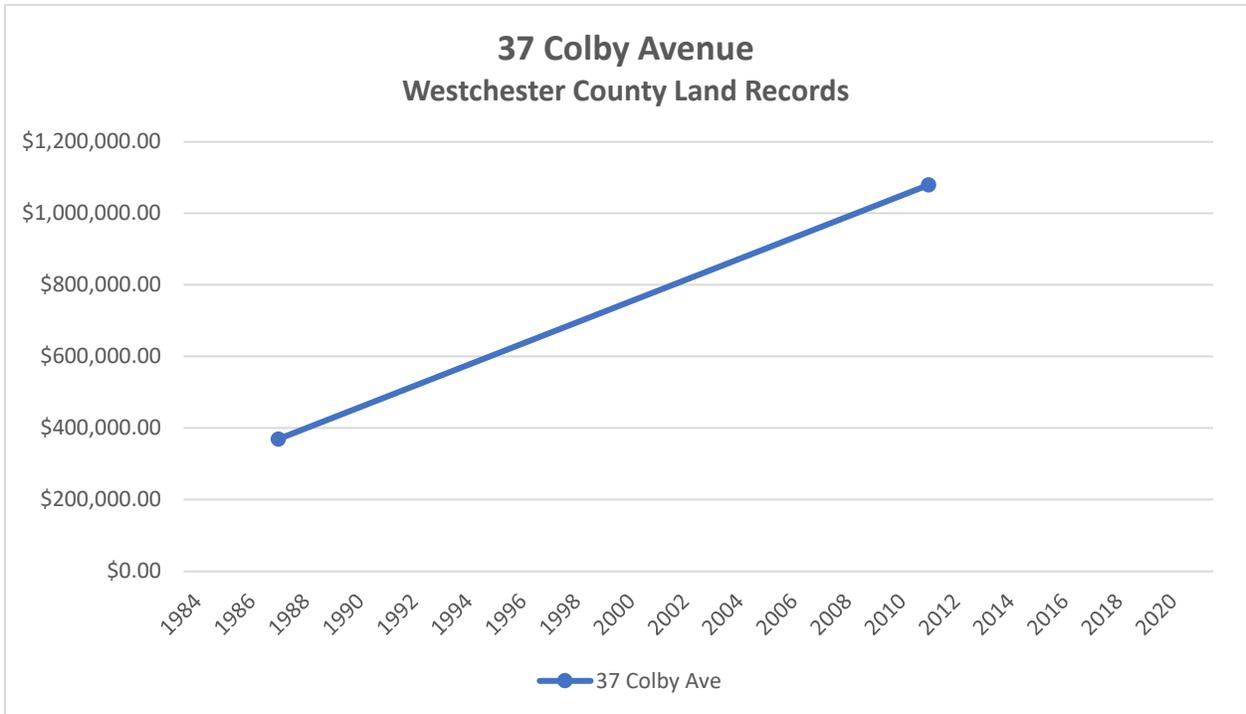
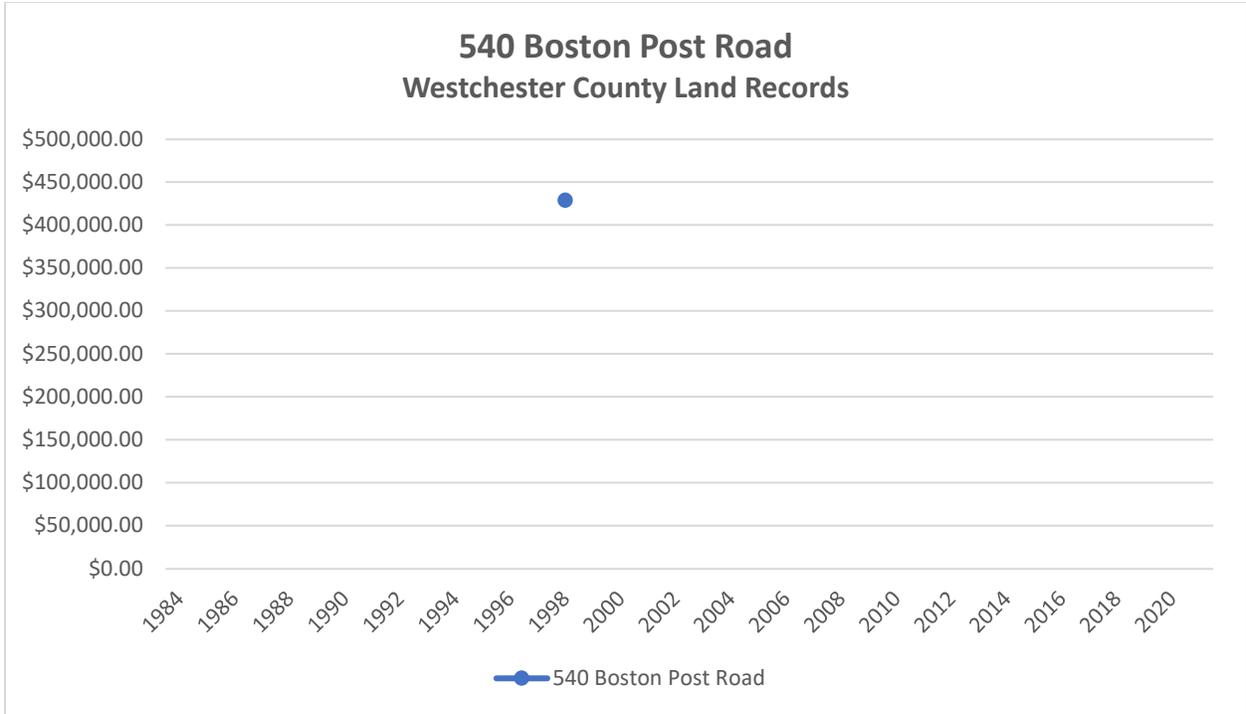


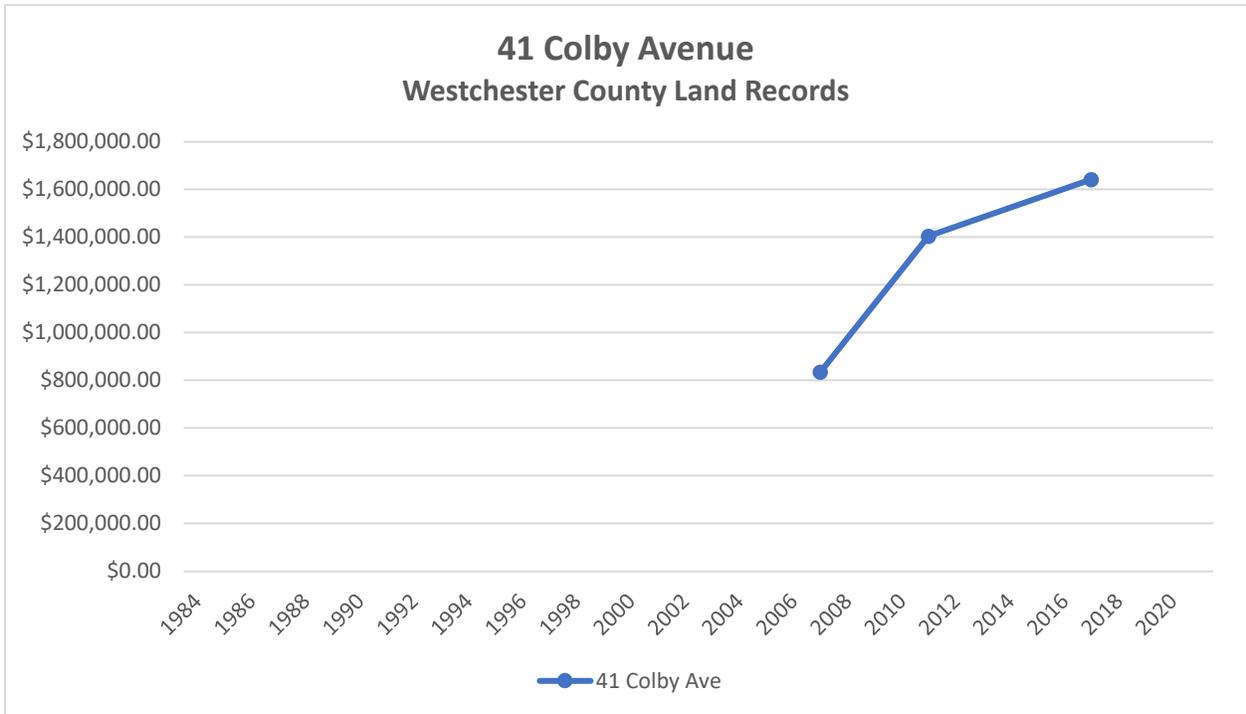
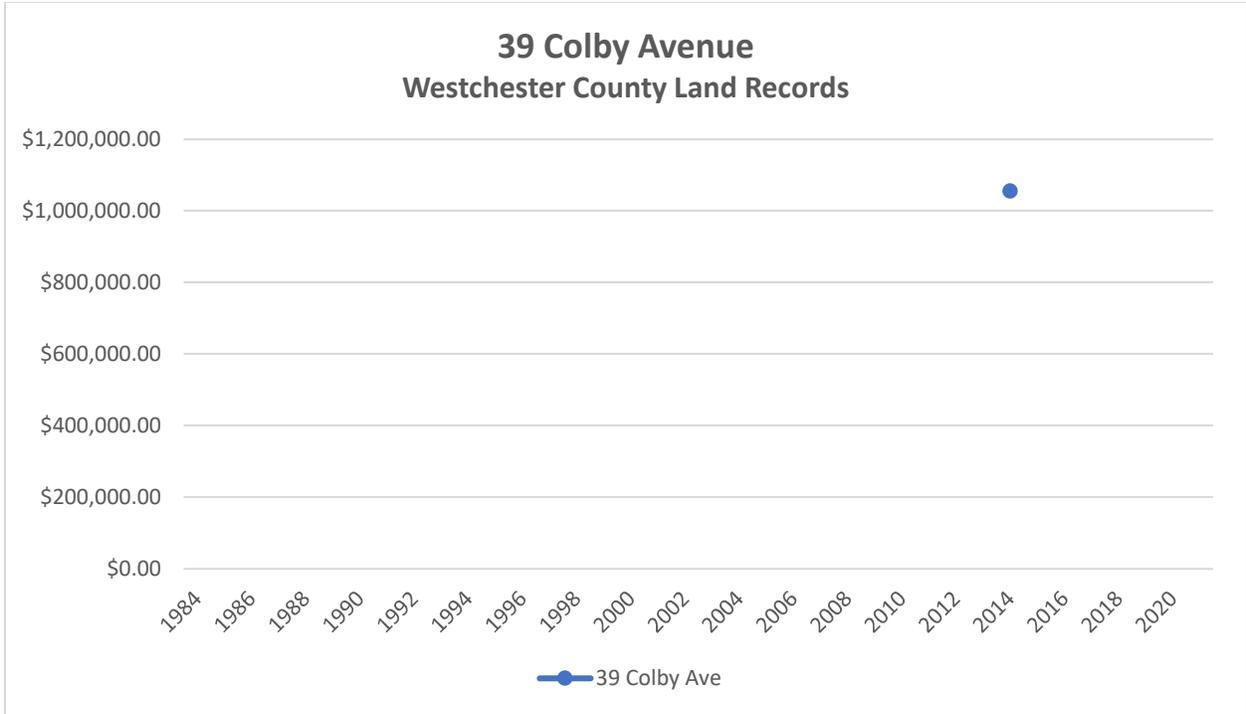


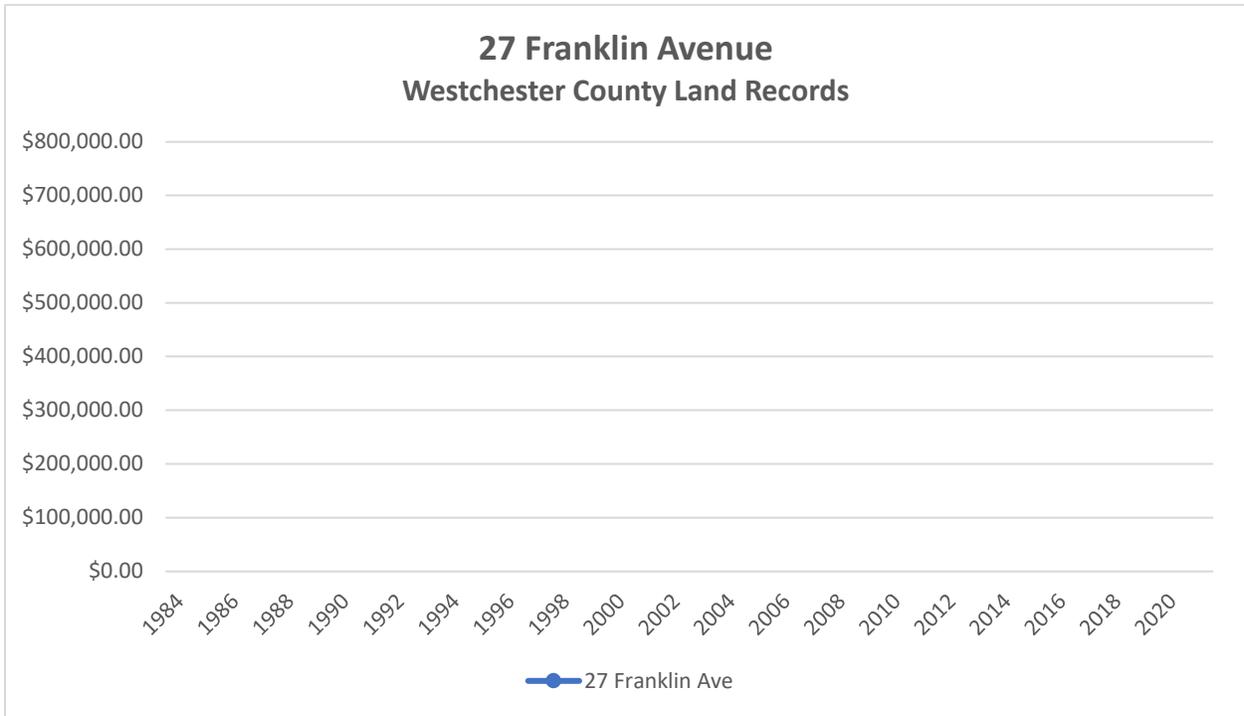
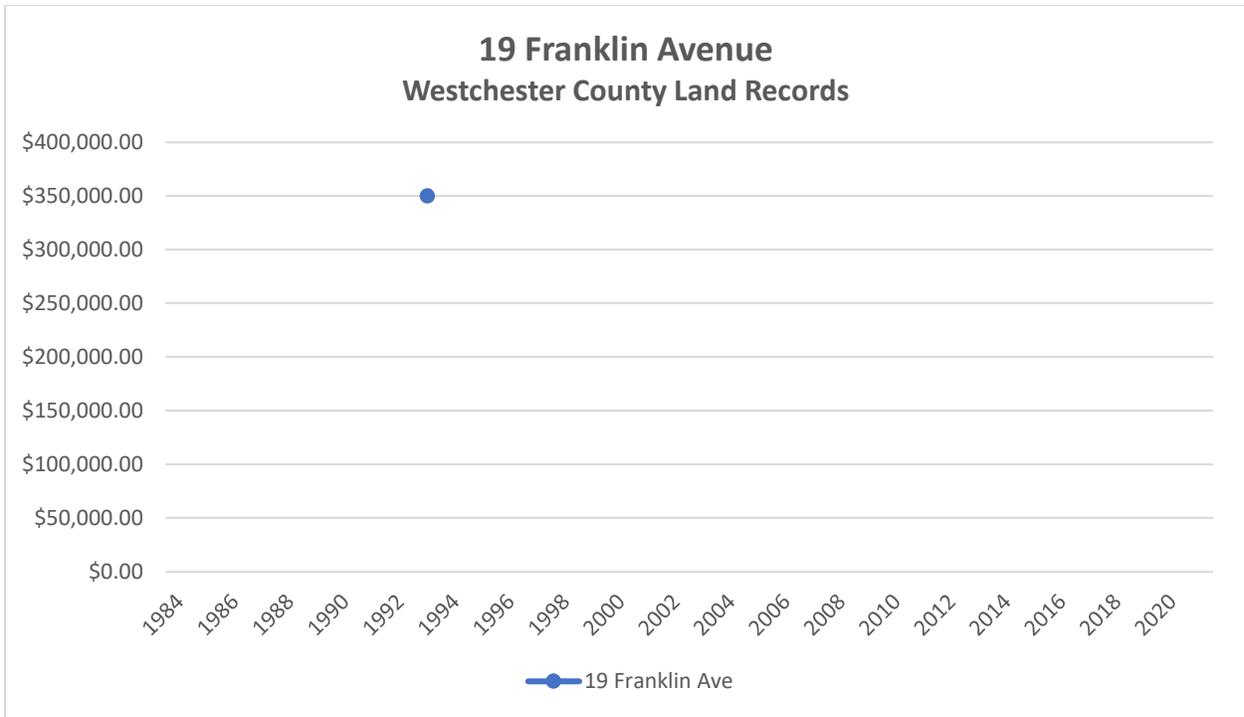


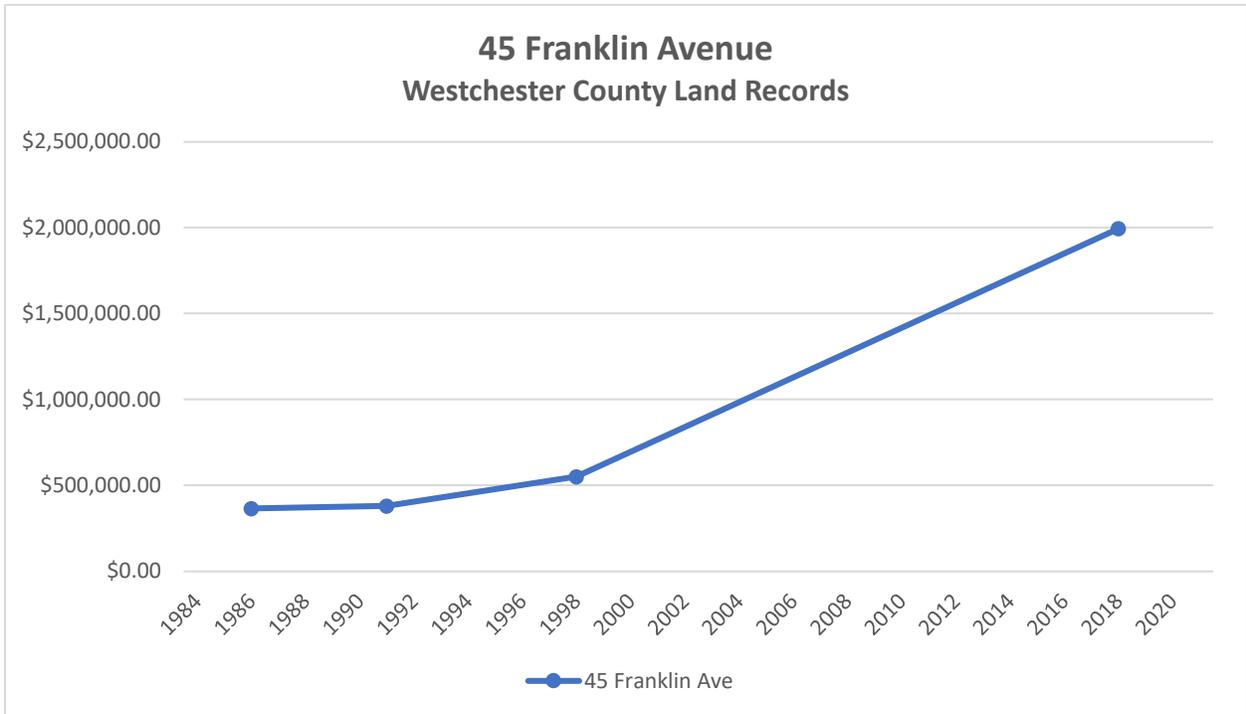
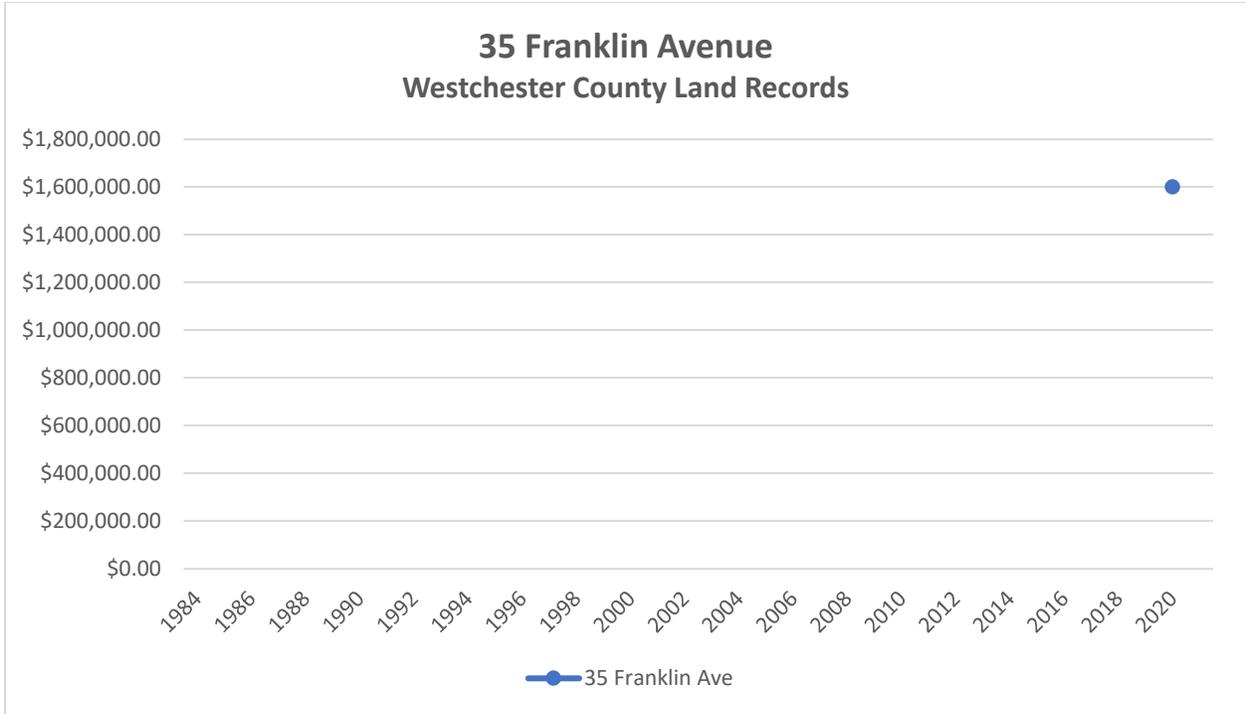


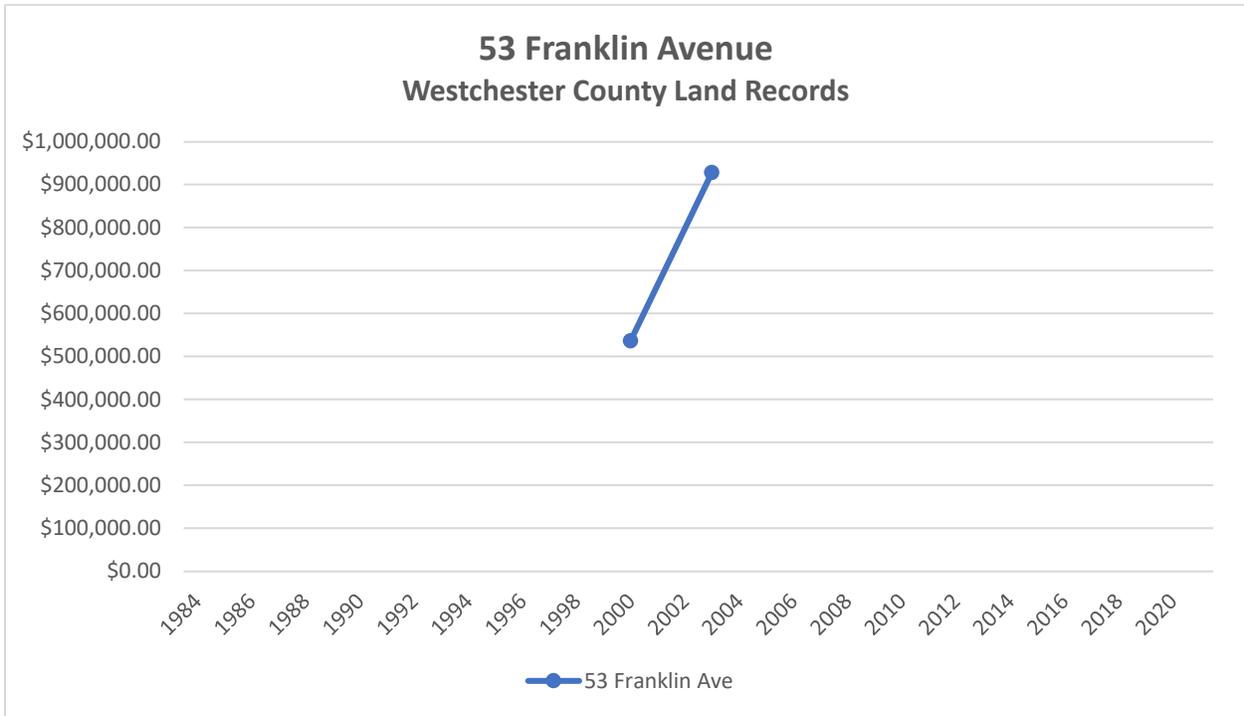
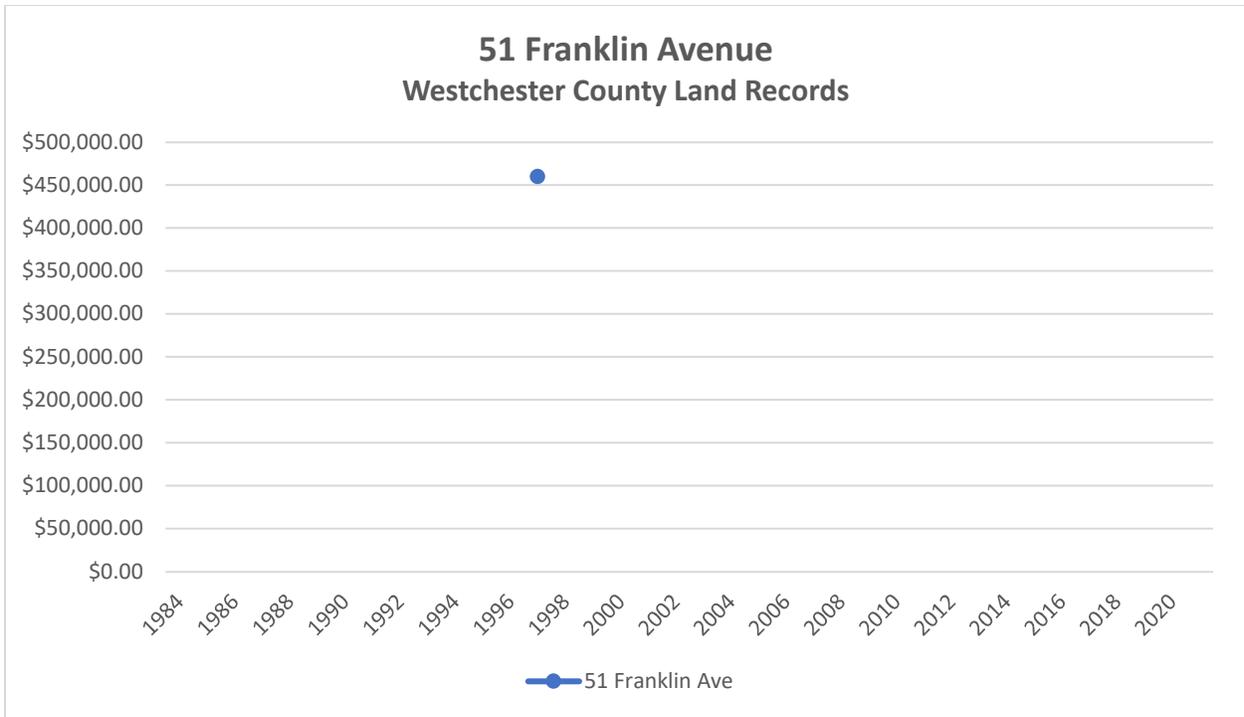


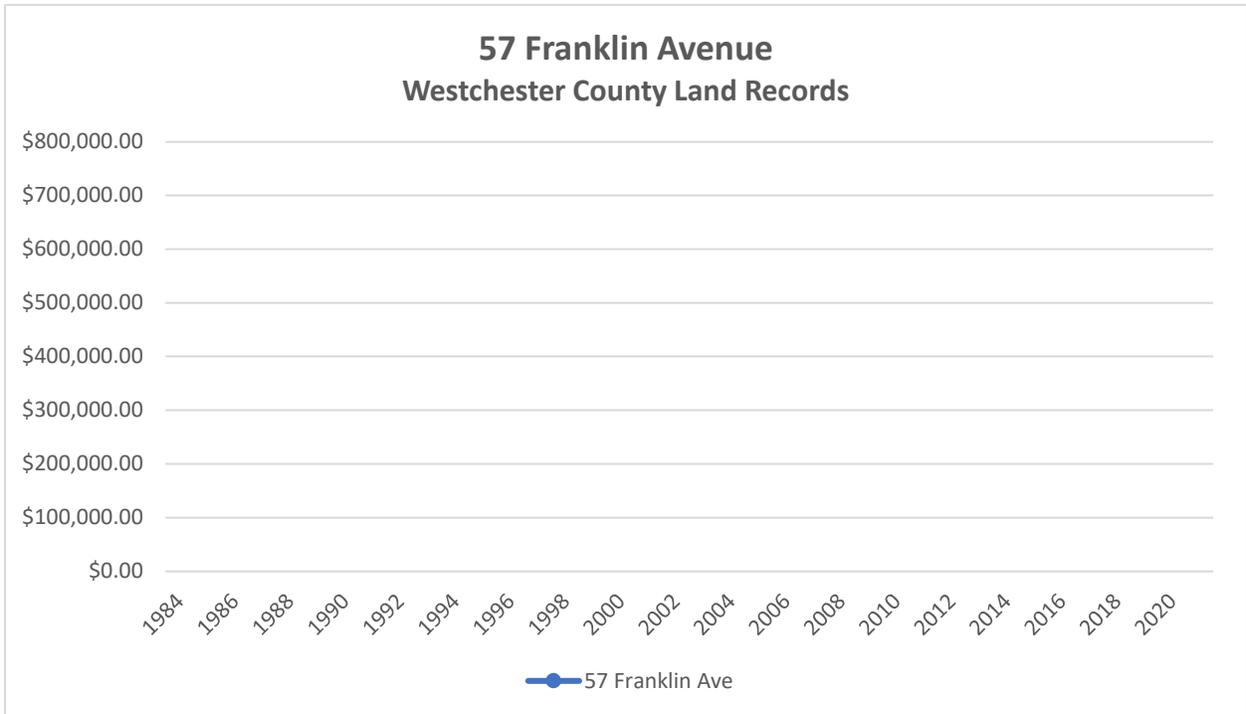
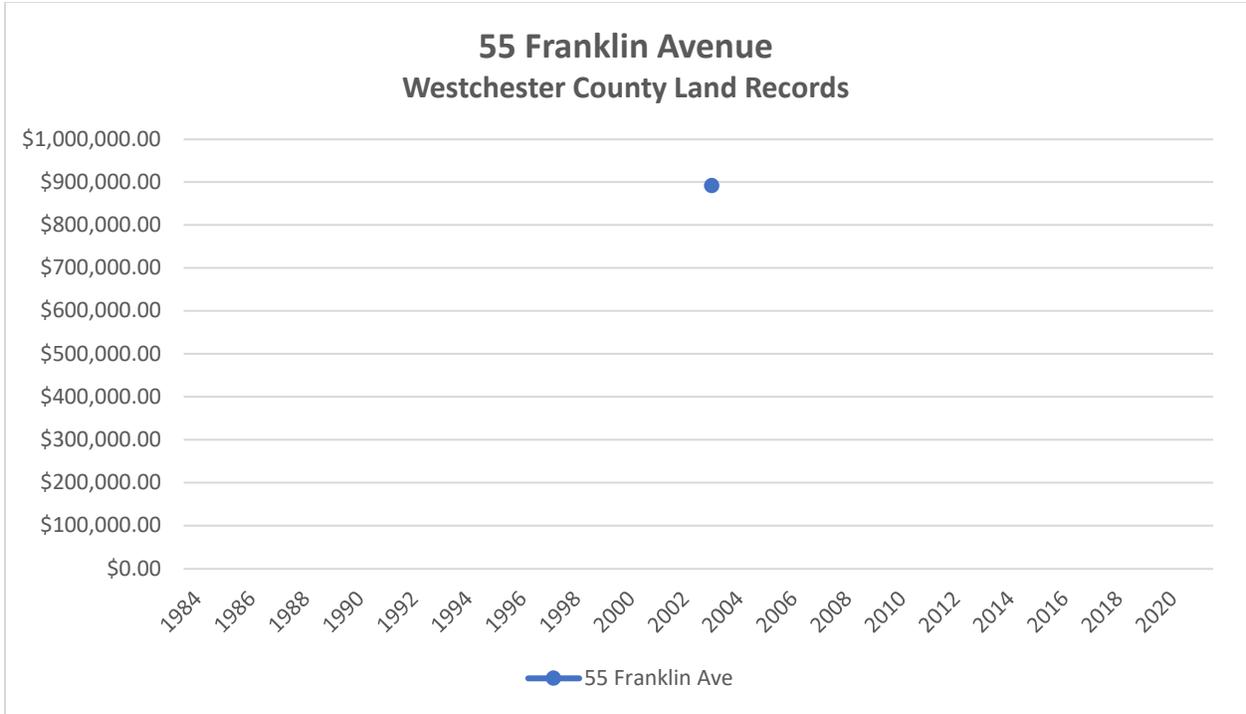


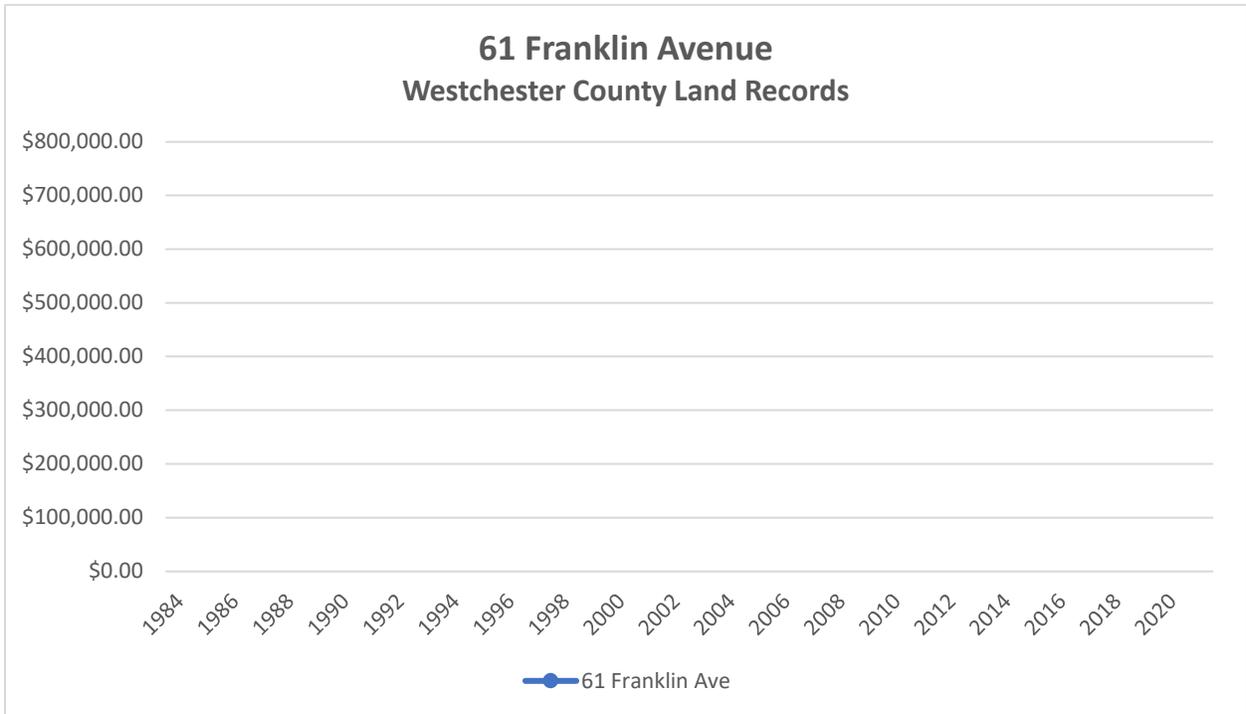
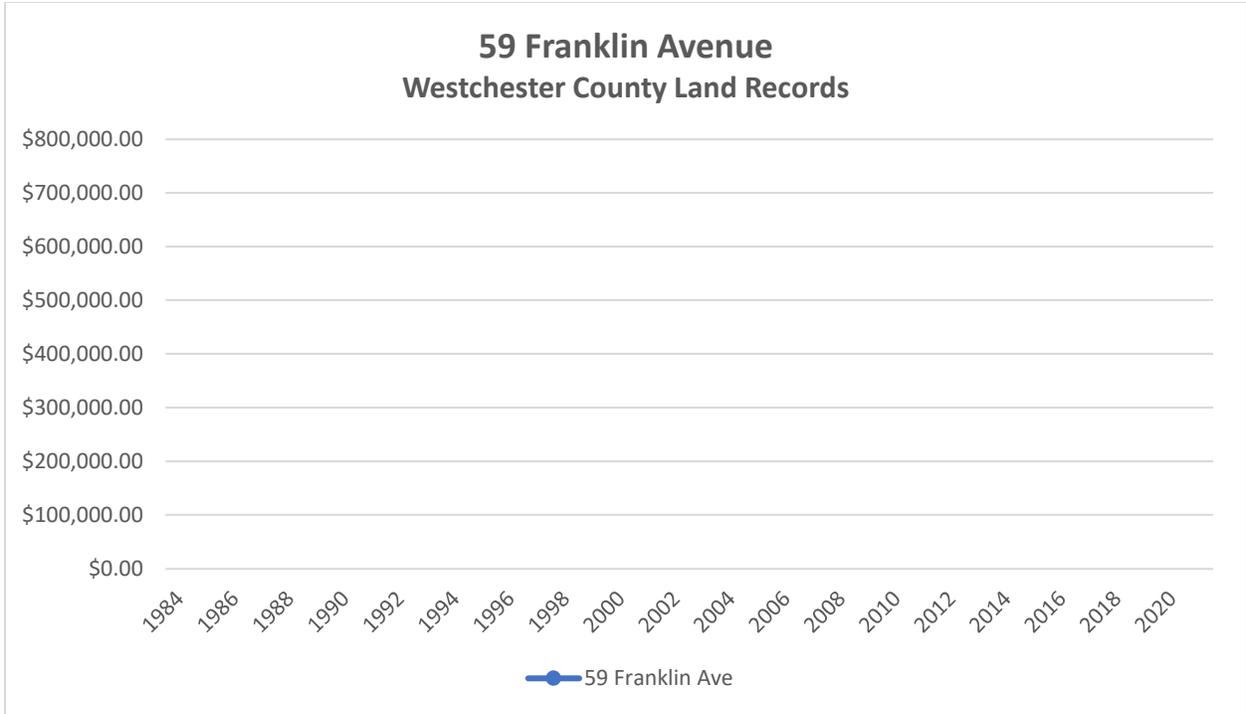


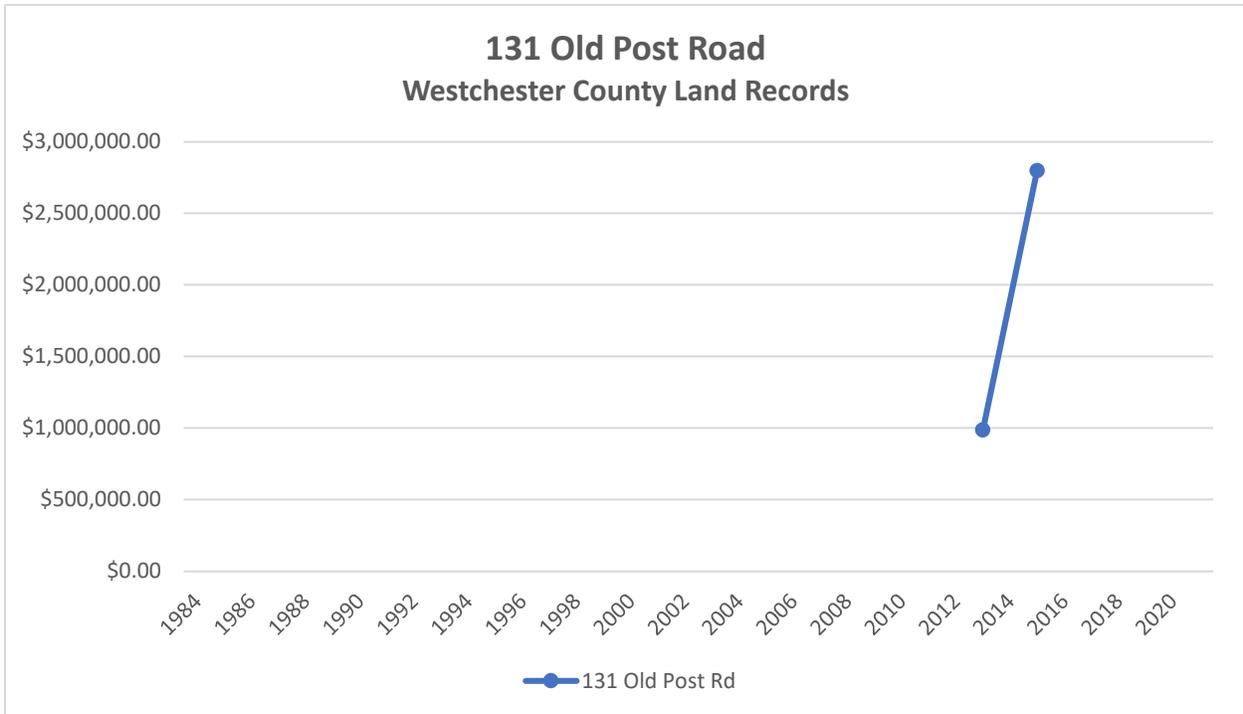
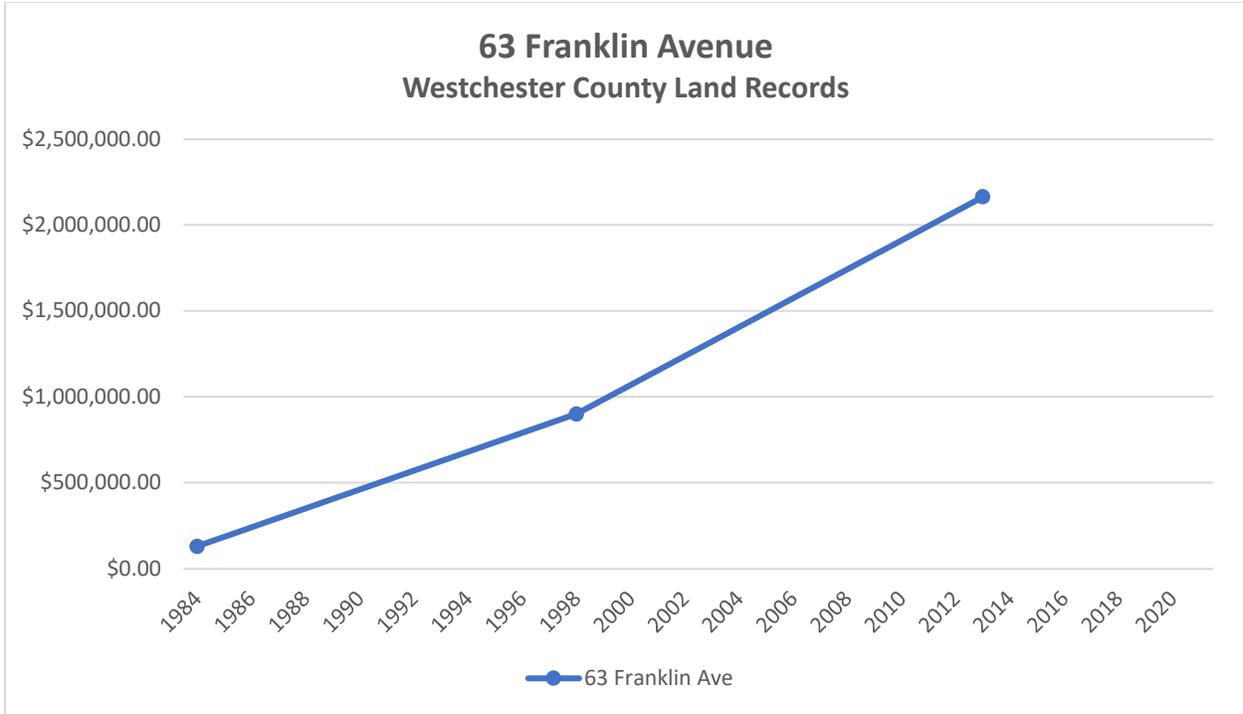


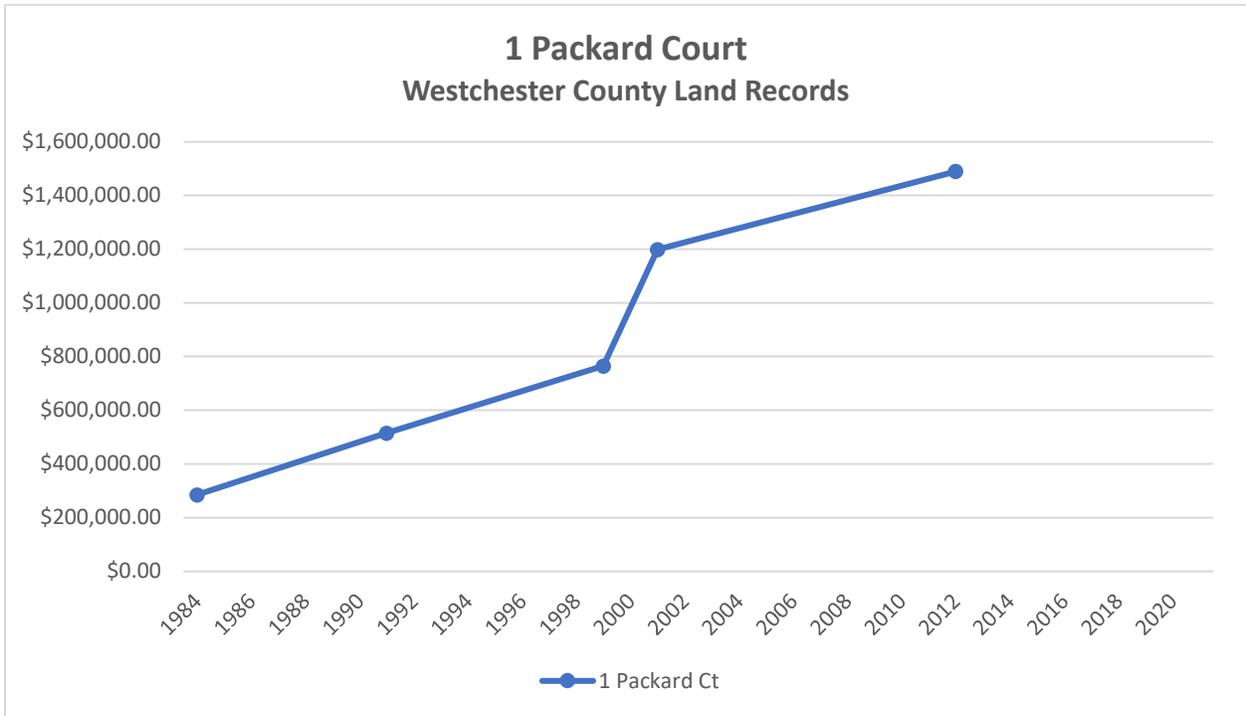
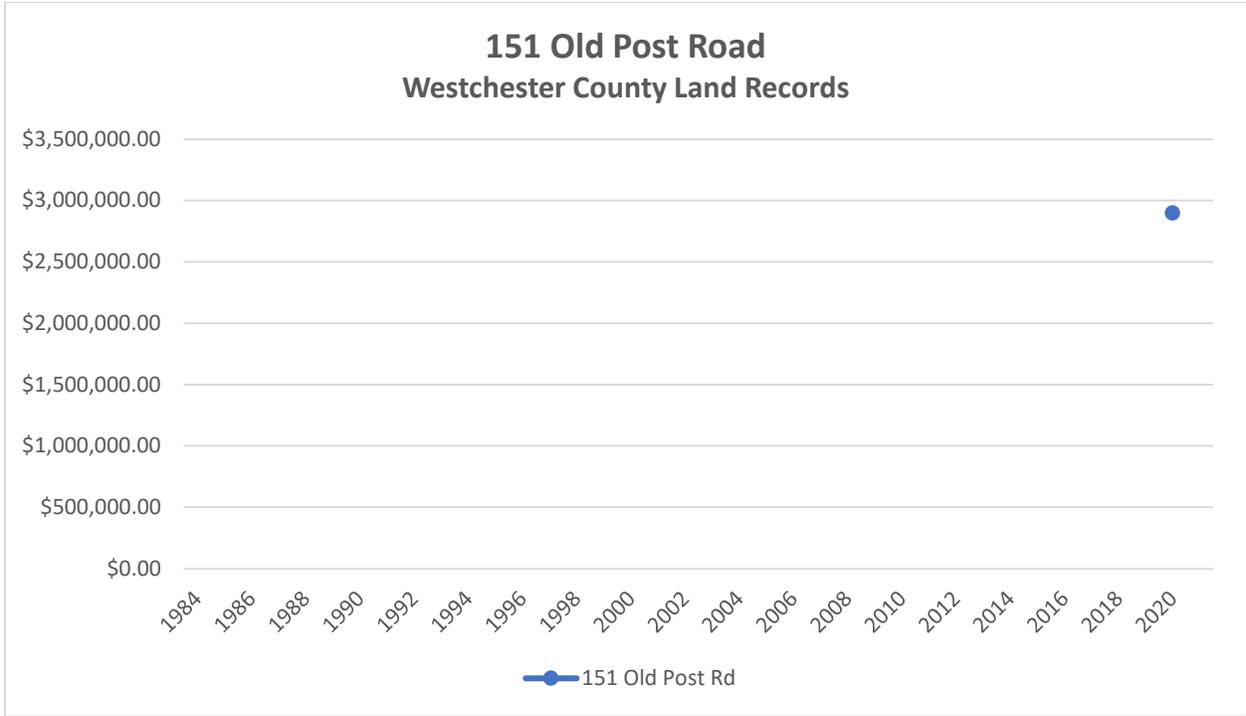


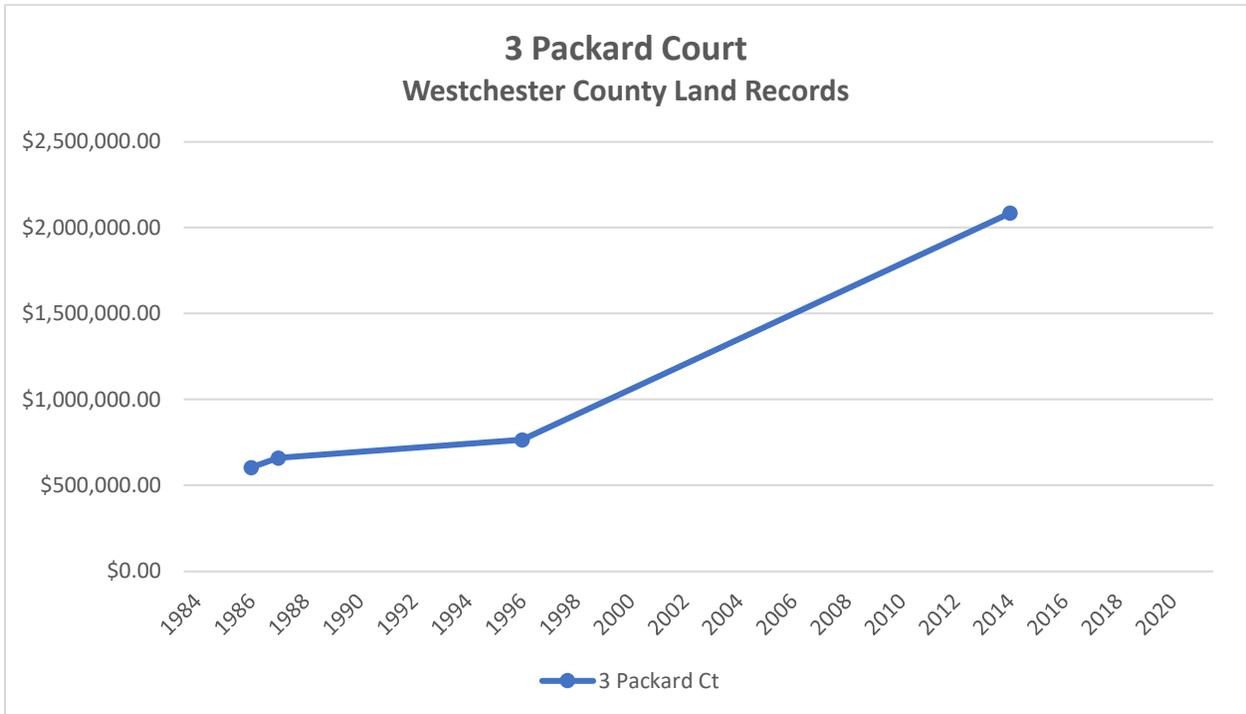
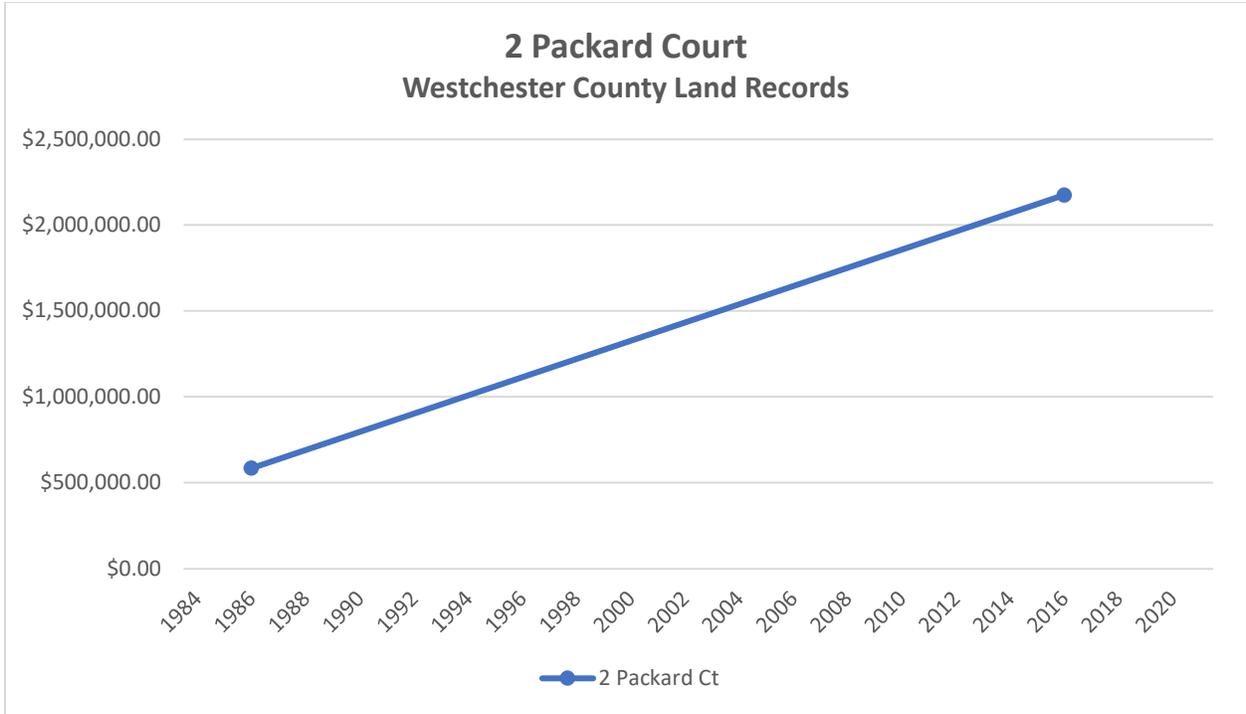


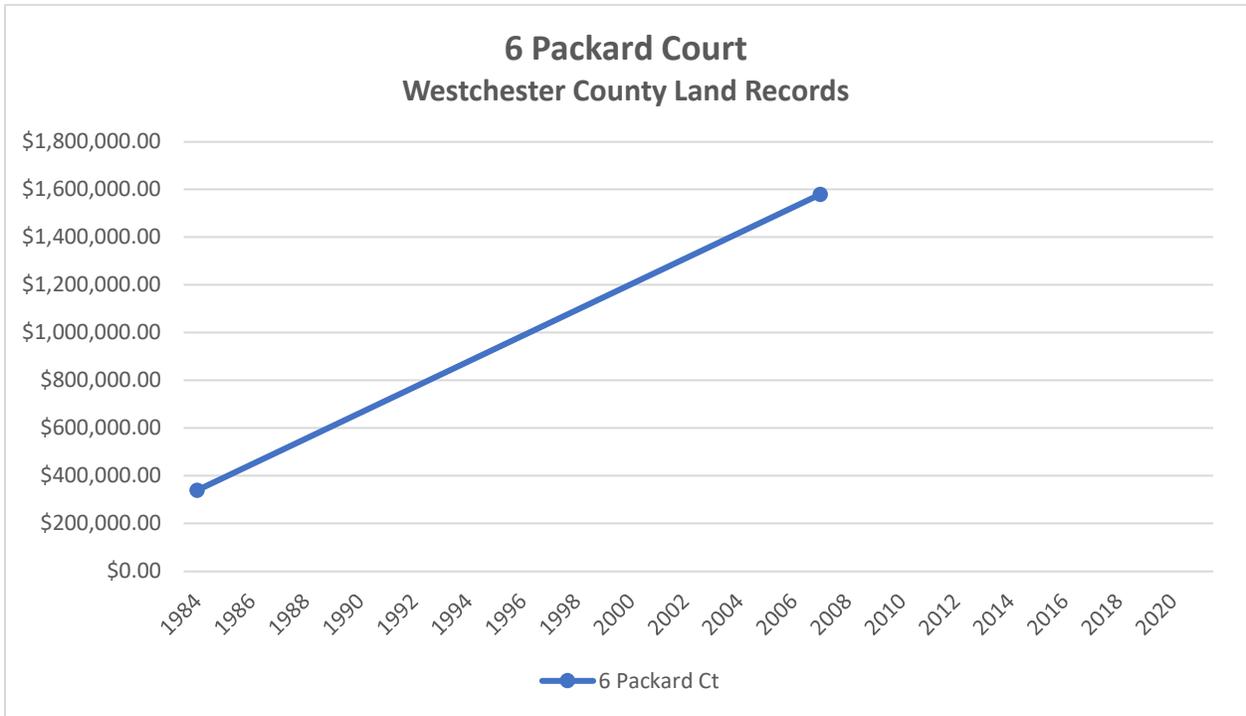
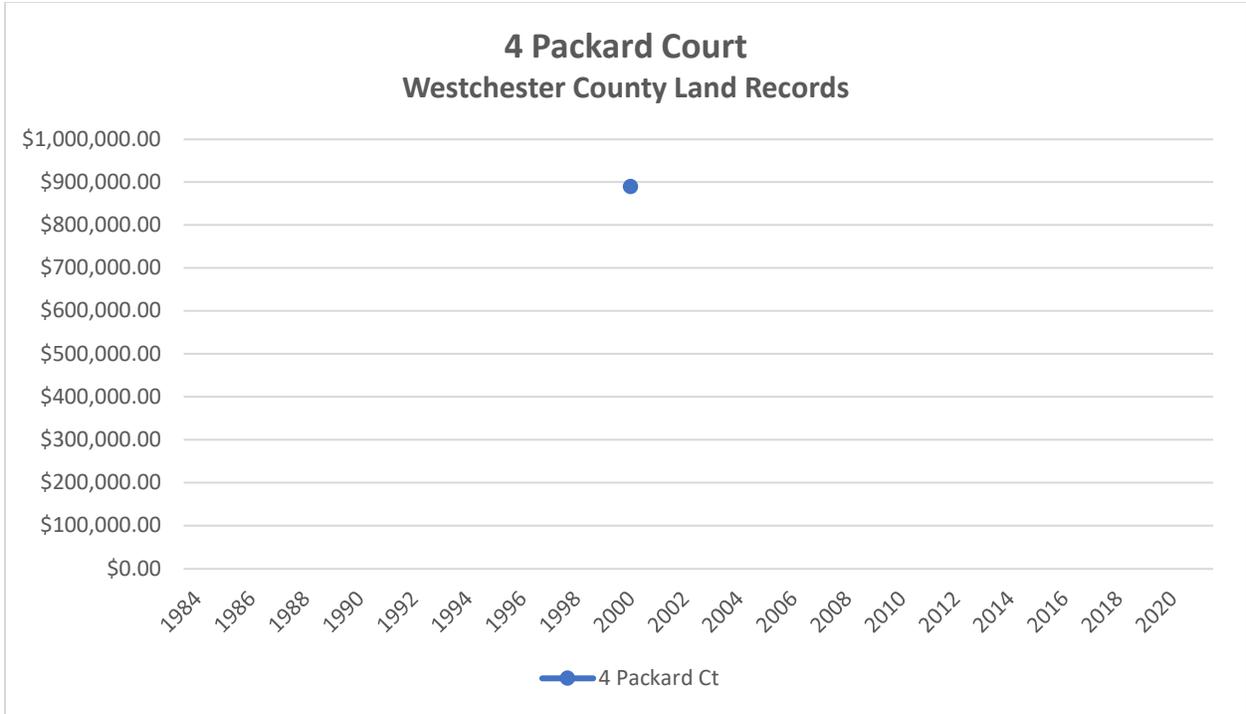


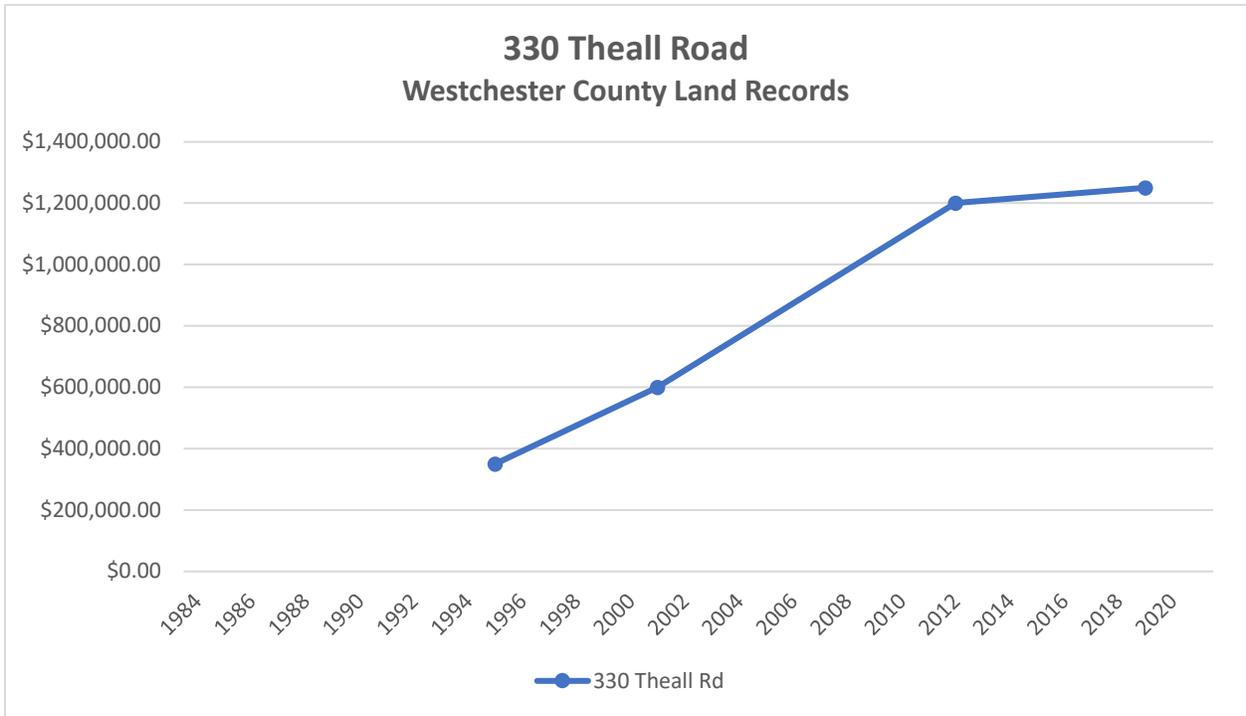
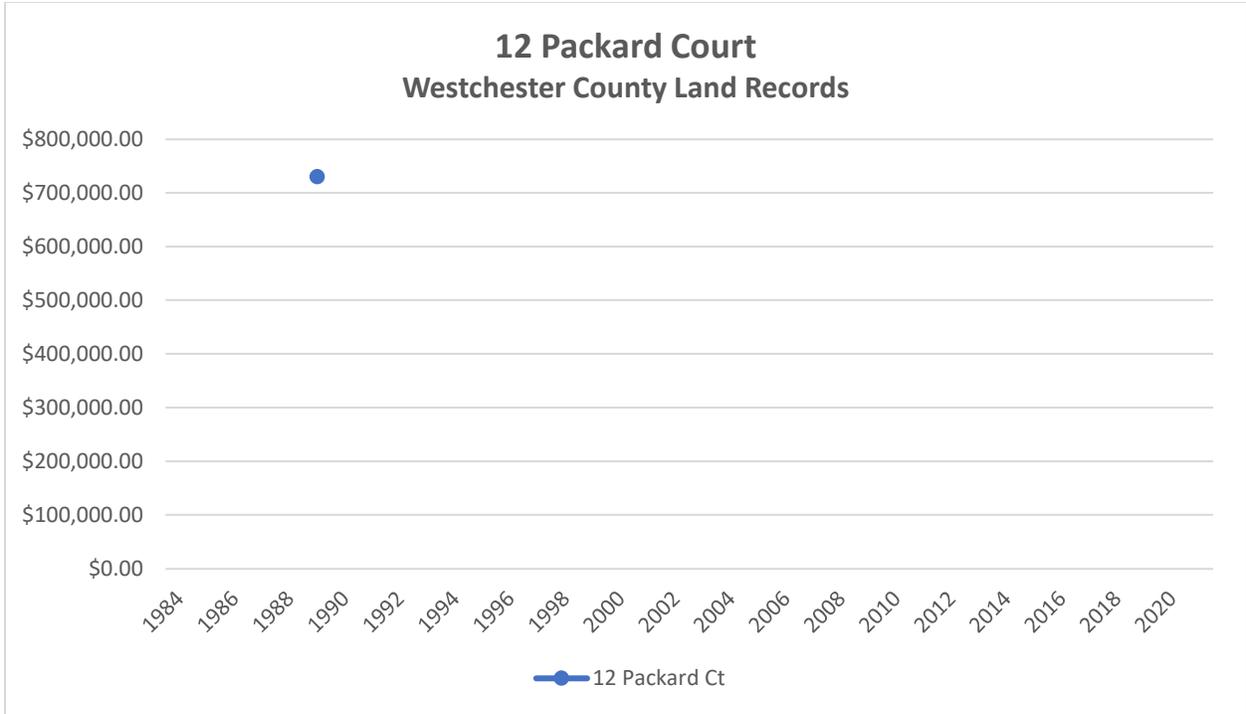












The Osborn
Rye, New York

Proposed Osborn Zoning Amendments and Residential Property Values

ATTACHMENT B

1 Osborn Road



422750111DEDC

Control Number 422750111	WIID Number 2002275-000062	Instrument Type DED
------------------------------------	--------------------------------------	-------------------------------



**WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)
*** DO NOT REMOVE *****

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED - DEED

FEE PAGES 3

TOTAL PAGES 3

RECORDING FEES

STATUTORY CHARGE	\$6.00
RECORDING CHARGE	\$9.00
RECORD MGT. FUND	\$19.00
RP 5217	\$25.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$64.00

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
YONKERS	\$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
SUBTOTAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

TRANSFER TAXES

CONSIDERATION	\$1,105,000.00
TAX PAID	\$15,470.00
TRANSFER TAX #	4624

SERIAL NUMBER
DWELLING

RECORDING DATE	10/07/2002
TIME	12:58:00

THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
CITY OF RYE

WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

Record & Return to: GEORGE GROSSMAN ESQ 17 ELM PLACE RYE, NY 10580
--

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



501203451DED002L

Westchester County Recording & Endorsement Page

Submitter Information

Name: Hudson Abstract Services Professional, LLC Phone: (845) 638-2000
 Address 1: 10 Schriever Lane Fax: (845) 634-0895
 Address 2: Email: barbara.cummaro@hudsonabstract.com
 City/State/Zip: New City NY 10956 Reference for Submitter: WOODRUFF

Document Details

Control Number: **501203451** Document Type: **Deed (DED)**
 Package ID: 2010043000208001001 Document Page Count: **3** Total Page Count: **4**

Parties

Additional Parties on Continuation page

1st PARTY

2nd PARTY

1: WOODRUFF ROBERT W - Individual 1: AGARWAL ANUPAM - Individual
 2: WOODRUFF LEE M - Individual 2: AGARWAL MEERA - Individual

Property

Additional Properties on Continuation page

Street Address: 1 OSBORN ROAD Tax Designation: 146.17-3-31
 City/Town: RYE CITY Village:

Cross-References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
 Page Fee: \$20.00
 Cross-Reference Fee: \$0.00
 Mortgage Affidavit Filing Fee: \$0.00
 RP-5217 Filing Fee: \$125.00
 TP-584 Filing Fee: \$5.00
 Total Recording Fees Paid: **\$190.00**

Mortgage Taxes

Document Date:
 Mortgage Amount:
 Basic: \$0.00
 Westchester: \$0.00
 Additional: \$0.00
 MTA: \$0.00
 Special: \$0.00
 Yonkers: \$0.00
 Total Mortgage Tax: **\$0.00**

Transfer Taxes

Consideration: \$1,605,000.00
 Transfer Tax: \$6,420.00
 Mansion Tax: \$16,050.00
 Transfer Tax Number: 10118

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 06/11/2010 at 12:40 PM

Control Number: **501203451**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

John P. Gardner Esq
 14 Elm Place
 Rye, NY 10580

3 Osborn Road

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



511393303DED002S

Westchester County Recording & Endorsement Page

Submitter Information

Name: Skyline Title LLC/Island Settlement Services LLC Phone: 212-324-4100
 Address 1: 275 Madison Avenue Fax: 212-324-4101
 Address 2: Email: cbranca@skylinetitle.biz
 City/State/Zip: New York NY 10016 Reference for Submitter: ISS-6124-W-11

Document Details

Control Number: **511393303** Document Type: **Deed (DED)**
 Package ID: 2011051900138001002 Document Page Count: **3** Total Page Count: **5**

Parties

Additional Parties on Continuation page

1st PARTY **2nd PARTY**
 1: COOK WILLIAM A - Individual 1: CONNORS TIMOTHY J Jr - Individual
 2: COOK LYNN R - Individual 2:

Property

Additional Properties on Continuation page

Street Address: 3 OSBORN ROAD Tax Designation: 146.17-3-30
 City/Town: RYE CITY Village:

Cross-References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
 Page Fee: \$20.00
 Cross-Reference Fee: \$0.00
 Mortgage Affidavit Filing Fee: \$0.00
 RP-5217 Filing Fee: \$125.00
 TP-584 Filing Fee: \$5.00
 Total Recording Fees Paid: **\$190.00**

Mortgage Taxes

Document Date:
 Mortgage Amount:
 Basic: \$0.00
 Westchester: \$0.00
 Additional: \$0.00
 MTA: \$0.00
 Special: \$0.00
 Yonkers: \$0.00
 Total Mortgage Tax: **\$0.00**

Transfer Taxes

Consideration: \$1,784,500.00
 Transfer Tax: \$7,138.00
 Mansion Tax: \$17,845.00
 Transfer Tax Number: 30047

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 06/08/2011 at 12:41 PM

Control Number: **511393303**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Gail Hiler Esq.
One Meadow Place

Larchmont, NY 10538

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



540513609DED003X

Westchester County Recording & Endorsement Page

Submitter Information

Name: Data Trace / AIS Phone: 516-918-4610
 Address 1: 1111 Marcus Avenue Fax:
 Address 2: Suite MZ-214 Email: recordingservices@nydata.com
 City/State/Zip: Lake Success NY 11042 Reference for Submitter: KEL-2066-W-13

Document Details

Control Number: **540513609** Document Type: **Deed (DED)**
 Package ID: 2014022000322001001 Document Page Count: **4** Total Page Count: **5**

Parties

Additional Parties on Continuation page

1st PARTY

2nd PARTY

1: CONNORS TIMOTHY J III - Individual 1: INDER ILANA E - Individual
 2: - Individual 2: DEVERELL RICKY A - Individual

Property

Additional Properties on Continuation page

Street Address: 3 OSBORN RD Tax Designation: 146-17-3-30
 City/Town: RYE CITY Village:

Cross-References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
 Page Fee: \$25.00
 Cross-Reference Fee: \$0.00
 Mortgage Affidavit Filing Fee: \$0.00
 RP-5217 Filing Fee: \$125.00
 TP-584 Filing Fee: \$5.00
 Total Recording Fees Paid: **\$195.00**

Mortgage Taxes

Document Date:
 Mortgage Amount:
 Basic: \$0.00
 Westchester: \$0.00
 Additional: \$0.00
 MTA: \$0.00
 Special: \$0.00
 Yonkers: \$0.00
 Total Mortgage Tax: **\$0.00**

Transfer Taxes

Consideration: \$1,950,000.00
 Transfer Tax: \$7,800.00
 Mansion Tax: \$19,500.00
 Transfer Tax Number: 8719

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 03/07/2014 at 10:49 AM

Control Number: **540513609**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

RANDIE PATERNO, ESQ.
12 BERKLEY DRIVE

RYE BROOK, NY 10573

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



571253021DED002Q

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Future Title Agency, Inc.	Phone:	914-666-7770
Address 1:	Attn: Mary E. Rasamny	Fax:	914-666-7767
Address 2:	280 North Bedford Rd., Suite 307	Email:	ftc@futuretitleco.com
City/State/Zip:	Mount Kisco NY 10549	Reference for Submitter:	Deverell

Document Details

Control Number:	571253021	Document Type:	Deed (DED)
Package ID:	2017050500011001001	Document Page Count:	3
		Total Page Count:	4

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY			
1:	DEVERELL RICKY A	- Individual	1:	YU YOUNGHA	- Individual
2:	INDER ILANA E	- Individual	2:	YU SUSAN	- Individual

Property

Additional Properties on Continuation page

Street Address:	3 OSBORN RD	Tax Designation:	146-17-3-30
City/Town:	RYE CITY	Village:	

Cross-References

Additional Cross-Refs on Continuation page

1:	2:	3:	4:
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Supporting Documents

1: RP-5217	2: TP-584
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Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$190.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$2,195,000.00
Transfer Tax:	\$8,780.00
Mansion Tax:	\$21,950.00
Transfer Tax Number:	14281

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 06/08/2017 at 09:29 AM

Control Number: **571253021**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

JOHN GARDNER, ESQ
Lambden & Gardner
14 ELM PLACE
RYE, NY 10580

5 Osborn Road



WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

JUL 9 9 36 AM '87
RECEIVED - CLERK

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED

RECORDED IN THE BOOK OF DEEDS MORTGAGE MISC.

LIBER 8880

PAGE 90

DATE JUL - 9 1987

TIME 8:36 AM

STATUTORY CHARGE 5

RECORDING CHARGE 6

FILING CHARGE 1

CROSS REFERENCE _____

CERT/RECEIPT _____

EXAMINER TOTAL

MH 12

585,000.00
CONSIDERATION

RECEIVED
\$ 2340.00
REAL ESTATE
JUL - 9 1987
TRANSFER TAX
WESTCHESTER
COUNTY

19735

DATE _____

MORTGGE. AMOUNT _____

EXEMPT YES _____ NO _____

REC'D TAX ON ABOVE MTGE:

BASIC \$ _____

ADDTL \$ _____

SUBTOTAL \$ _____

SPECIAL \$ _____

TOTAL \$ _____

SERIAL No. _____

DWELLING:

1-6 UNITS

OVER 6 UNITS

THE PROPERTY IS SITUATED IN
WESTCHESTER, N.Y. IN THE
TOWN OF CITY OF

- 02 BEDFORD
- 06 CORTLANDT
- 09 EASTCHESTER
- 11 GREENBURGH
- 12 HARRISON
- 16 LEWISBORO
- 17 MAMARONECK
- 19 MT. KISCO
- 20 MT. PLEASANT
- 21 MT. VERNON
- 22 NEW CASTLE
- 23 NEW ROCHELLE
- 24 NORTH CASTLE
- 26 NORTH SALEM
- 28 OSSINING
- 30 PEEKSKILL
- 31 PELHAM
- 35 POUND RIDGE
- 36 RYE CITY
- 37 RYE TOWN
- 38 SCARSDALE
- 39 SOMERS
- 42 WHITE PLAINS
- 43 YONKERS
- 44 YORKTOWN

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

ADDITIONAL COMMENTS

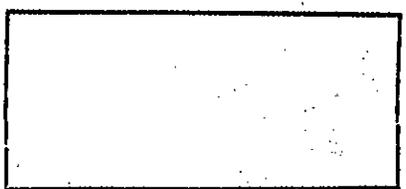
TERMINAL No. DATE RETURNED

871904030

WITNESS MY HAND AND OFFICIAL SEAL
Andrew J. Spano
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

0000058008 07/09/87CPA/DE 12.00
07:33

RECORDING DATE OF THIS INSTRUMENT AS INDICATED ABOVE IS THE OFFICIAL DATE ON WHICH THE WESTCHESTER COUNTY CLERK RECEIVED THIS INSTRUMENT FOR RECORDING QUESTIONS REGARDING DELAYS PRIOR TO THIS DATE SHOULD BE ADDRESSED TO YOUR REPRESENTATIVE OR ATTORNEY.



The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



521883143DED001Z

Westchester County Recording & Endorsement Page

Submitter Information

Name: Fidelity National Title (Pick-up By Carol Glover) Phone: 516-741-5050
 Address 1: 1415 Kellum Place Fax: 516-741-5363
 Address 2: Suite 202 Email: dciccarello@fnf.com
 City/State/Zip: Garden City NY 11530 Reference for Submitter: 62876CA

Document Details

Control Number: **521883143** Document Type: **Deed (DED)**
 Package ID: 2012070600069001001 Document Page Count: **3** Total Page Count: **4**

Parties

Additional Parties on Continuation page

1st PARTY

2nd PARTY

1: PULLMAN HENRY - Individual 1: WHITTINGTON COLIN M - Individual
 2: PULLMAN GAIL - Individual 2: YI LO M - Individual

Property

Additional Properties on Continuation page

Street Address: 5 OSBORN ROAD Tax Designation: 146.17-3-29
 City/Town: RYE CITY Village:

Cross-References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
 Page Fee: \$20.00
 Cross-Reference Fee: \$0.00
 Mortgage Affidavit Filing Fee: \$0.00
 RP-5217 Filing Fee: \$125.00
 TP-584 Filing Fee: \$5.00
 Total Recording Fees Paid: **\$190.00**

Mortgage Taxes

Document Date:
 Mortgage Amount:
 Basic: \$0.00
 Westchester: \$0.00
 Additional: \$0.00
 MTA: \$0.00
 Special: \$0.00
 Yonkers: \$0.00
 Total Mortgage Tax: **\$0.00**

Transfer Taxes

Consideration: \$1,425,000.00
 Transfer Tax: \$5,700.00
 Mansion Tax: \$14,250.00
 Transfer Tax Number: 43610

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 07/24/2012 at 10:36 AM

Control Number: **521883143**

Witness my hand and official seal

Timothy C. Idroni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

HAROLD, SALANT, STRASSFIELD & SPIELBERG, ESQ.
 81 MAIN STREET

WHITE PLAINS, NY 10601

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



562523315DED004W

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Register Abstract Company, Inc.	Phone:	718-687-4928
Address 1:	215-15 Northern Boulevard	Fax:	Jennifer Agunzo
Address 2:	Suite 101	Email:	jagunzo@titlesny.com
City/State/Zip:	Bayside NY 11361	Reference for Submitter:	HA-17594

Document Details

Control Number:	562523315	Document Type:	Deed (DED)
Package ID:	2016090800136001001	Document Page Count:	3
		Total Page Count:	5

Parties

1st PARTY		<input checked="" type="checkbox"/> Additional Parties on Continuation page	
1:	WHITTINGTON COLIN M - Individual	1:	PATRICK KEHOE & DANIELA ARREDONDO REVOCABLE T - Other
2:	YI LO MAN - Individual	2:	KEHOE PATRICK - Individual

Property

Street Address:	5 OSBORN ROAD	Tax Designation:	146.17-3-29
City/Town:	RYE CITY	Village:	

Cross-References

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584	3: IT-2663
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Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$190.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$1,849,000.00
Transfer Tax:	\$7,396.00
Mansion Tax:	\$18,490.00
Transfer Tax Number:	2966

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 09/23/2016 at 03:57 PM

Control Number: **562523315**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

**PATRICK KEOHE
DANIELA ARREDONDO
5 OSBORN ROAD
RYE, NY 10580**

7 Osborn Road



WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED
(SEE CODES FOR DEFINITIONS)

THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, N.Y. IN
THE

- 02 TOWN OF BEDFORD
- 06 TOWN OF CORTLANDT
- 09 TOWN OF EASTCHESTER
- 11 TOWN OF GREENBURGH
- 12 TOWN OF HARRISON
- 16 TOWN OF LEWISBORO
- 17 TOWN OF MAMARONECK
- 19 TOWN OF MT. KISCO
- 20 TOWN OF MT. PLEASANT
- 21 CITY OF MT. VERNON
- 22 TOWN OF NEW CASTLE
- 23 CITY OF NEW ROCHELLE
- 24 TOWN OF NORTH CASTLE
- 26 TOWN OF NORTH SALEM
- 28 TOWN OF OSSINING
- 30 CITY OF PEEKSKILL
- 31 TOWN OF PELHAM
- 35 TOWN OF POUND RIDGE
- 36 CITY OF RYE
- 37 TOWN OF RYE
- 38 TOWN OF SCARSDALE
- 39 TOWN OF SOMERS
- 42 CITY OF WHITE PLAINS
- 43 CITY OF YONKERS
- 44 TOWN OF YORKTOWN

LIBER 9554
PAGE 311

STAT'Y CHARGE 5
REC'ING CHARGE 12
FILING CHARGE 1
CROSS REFERENCE _____
CERT/RECEIPT _____

TOTAL
18

\$ 755000
CONSIDERATION

RECEIVED
\$ 3020.
JUN 16 1989
1430H
REAL ESTATE
TRANSFER TAX
WESTCHESTER COUNTY

MORTG. DATE _____
MORTG. AMOUNT _____
EXEMPT YES _____ NO _____
REC'D TAX ON ABOVE MTGE: _____
BASIC \$ _____
ADDTL \$ _____
SUBTOTAL \$ _____
SPECIAL \$ _____
TOTAL \$ _____
SERIAL No. _____
DWELLING:
 1-6 UNITS
 OVER 6 UNITS

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

ADDITIONAL COMMENTS

TERMINAL No. 891679020 DATE RETURNED _____
EXAMINED BY _____
WITNESS MY HAND AND OFFICIAL SEAL

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

THE RECORDING DATE OF THIS INSTRUMENT AS INDICATED BELOW IS THE OFFICIAL DATE ON WHICH THE WESTCHESTER COUNTY CLERK RECEIVED THIS INSTRUMENT. QUESTIONS REGARDING DELAYS PRIOR TO THIS DATE SHOULD BE ADDRESSED TO YOUR REPRESENTATIVE OR ATTORNEY.

RECEIVED
89 JUN 16 AM 11:02
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

903998030 06/16/89CPA/DE 18.00
11:33

RECORD AND RETURN



472280540DED1

Control Number
472280540

Instrument Type
DED



**WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)**

***** DO NOT REMOVE *****

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT: DED - DEED

FEE PAGES: 6 TOTAL PAGES: 6

RECORDING FEES

STATUTORY CHARGE	\$6.00
RECORDING CHARGE	\$18.00
RECORD MGT. FUND	\$19.00
RP 5217	\$75.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$123.00

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
COUNTY TAX	\$0.00
YONKERS TAX	\$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

TRANSFER TAXES

CONSIDERATION	\$2,251,000.00
TAX PAID	\$0.00
TRANSFER TAX #	823

SERIAL NUMBER:

DWELLING:

RECORDING DATE: 8/27/2007

TIME: 14:31:00

**THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
CITY OF RYE**

TAXES PAID IN ALBANY

WITNESS MY HAND AND OFFICIAL SEAL

**TIMOTHY C. IDONI
WESTCHESTER COUNTY CLERK**

**Record & Return to:
LAMB DEN & GARDNER PC
14 ELM PLACE**

RYE, NY 10580

9 Osborn Road

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



531783644DED0045

Westchester County Recording & Endorsement Page

Submitter Information

Name: Stewart Title Insurance Company (pick up by Ramon) Phone: 914-993-9393
 Address 1: 707 Westchester Avenue, Ste 411 Fax: 914-997-1698
 Address 2: Email: nymetrorecordings@stewart.com
 City/State/Zip: White Plains NY 10701 Reference for Submitter: 1317516-P,D,M

Document Details

Control Number: **531783644** Document Type: **Deed (DED)**
 Package ID: 2013062700288001001 Document Page Count: **4** Total Page Count: **5**

Parties

Additional Parties on Continuation page

1st PARTY

2nd PARTY

1: GOLDIE ROBERT H - Individual 1: TAVI SABRINA - Individual
 2: GOLDIE JULIA H - Individual 2: CHOROST DANIEL D - Individual

Property

Additional Properties on Continuation page

Street Address: 9 OSBORN ROAD Tax Designation: 146.17-3-32
 City/Town: RYE CITY Village:

Cross-References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
 Page Fee: \$25.00
 Cross-Reference Fee: \$0.00
 Mortgage Affidavit Filing Fee: \$0.00
 RP-5217 Filing Fee: \$125.00
 TP-584 Filing Fee: \$5.00
 Total Recording Fees Paid: **\$195.00**

Mortgage Taxes

Document Date:
 Mortgage Amount:
 Basic: \$0.00
 Westchester: \$0.00
 Additional: \$0.00
 MTA: \$0.00
 Special: \$0.00
 Yonkers: \$0.00
 Total Mortgage Tax: **\$0.00**

Transfer Taxes

Consideration: \$1,850,000.00
 Transfer Tax: \$7,400.00
 Mansion Tax: \$18,500.00
 Transfer Tax Number: 23170

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 07/17/2013 at 03:25 PM

Control Number: **531783644**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Randie Paterno, Esq.
 12 Berkeley Drive
 Rye Brook, NY 10573

45 Osborn Road



Q00194292



DED2



*** DO NOT REMOVE ***

WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED-DEED FEE PAGE 4 TOTAL PAGES 4
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE	<u>5.25</u>
REC'ING CHARGE	<u>12.00</u>
RECMGT FUND	<u>4.75</u>
EA 5217	<u>25.00</u>
TP-584	<u>6.00</u>
CROSS-REF.	<u>0.00</u>
MISC.	<u> </u>

MORTGE. DATE	<u> </u>
MORTGE. AMT	<u> </u>
EXEMPT	YES <u> </u> NO <u> </u>

LIBER: 10994
PAGE : 157

REC'D TAX ON ABOVE MTGE:	
BASIC	\$ <u> </u>
ADDITIONAL	\$ <u> </u>

THE PROPERTY IS SITUATED
IN WESTCHESTER COUNTY,
NEW YORK IN THE:
CITY OF RYE CITY

SUBTOTAL	\$ <u> </u>
SPECIAL	\$ <u> </u>
TOTAL PAID	\$ <u> </u>
	=====

TOTAL PAID
53.00

\$ 735000.00
CONSIDERATION

SERIAL NO.
DWELLING 1-6 OVER

RECEIVED:
TAX AMOUNT \$ 2940.00
TRANSFER TAX# 0004548

 DUAL TOWN
 DUAL COUNTY/STATE
 HELD
 NOT HELD

TITLE COMPANY NUMBER:

EXAMINED BY JLG1

TERMINAL CTRL# 94292Q001

DATE RETURNED

0000440000 10/19/94CPA/DE 53.00
11:55

I HEREBY CERTIFY THAT THE ABOVE
INFORMATION FEES AND TAXES ARE
CORRECT
WITNESS MY HAND AND OFFICIAL SEAL

Leonard N. Spano

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK



471840228DED1

Control Number
471840228

Instrument Type
DED



**WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)**

***** DO NOT REMOVE *****

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT: DED - DEED

FEE PAGES: 5 TOTAL PAGES: 5

RECORDING FEES

STATUTORY CHARGE	\$6.00
RECORDING CHARGE	\$15.00
RECORD MGT. FUND	\$19.00
RP 5217	\$75.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$120.00

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
COUNTY TAX	\$0.00
YONKERS TAX	\$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

TRANSFER TAXES

CONSIDERATION	\$2,200,000.00
TAX PAID	\$30,800.00
TRANSFER TAX #	17682

SERIAL NUMBER:

DWELLING:

RECORDING DATE: 7/11/2007

TIME: 12:17:00

**THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
CITY OF RYE**

WITNESS MY HAND AND OFFICIAL SEAL

**TIMOTHY C. IDONI
WESTCHESTER COUNTY CLERK**

Record & Return to:
**GUY NOVO ESQ
14 TOWNSEND AVE**

HARTSDALE, NY 10530

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



600763637DED0022

Westchester County Recording & Endorsement Page

Submitter Information

Name: CATIC Title Insurance Company Phone: 914-418-9847
 Address 1: 660 White Plains Road, Suite 570 Fax: 833-329-2228
 Address 2: Email: nyrecordings@CaticTitle.com
 City/State/Zip: Tarrytown NY 10591 Reference for Submitter: 2457

Document Details

Control Number: **600763637** Document Type: **Deed (DED)**
 Package ID: 2020031600265001001 Document Page Count: **3** Total Page Count: **4**

Parties

Additional Parties on Continuation page

1st PARTY **2nd PARTY**
 1: NORR PER O - Individual 1: LOUW NICHOLAS - Individual
 2: NORR LENA C - Individual 2: LOUW ROSALIE - Individual

Property

Additional Properties on Continuation page

Street Address: 45 OSBORN ROAD Tax Designation: 146.17-3-77
 City/Town: RYE CITY Village:

Cross-References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584 3: IT-2663

Recording Fees

Statutory Recording Fee: \$40.00
 Page Fee: \$20.00
 Cross-Reference Fee: \$0.00
 Mortgage Affidavit Filing Fee: \$0.00
 RP-5217 Filing Fee: \$125.00
 TP-584 Filing Fee: \$5.00
 RPL 291 Notice Fee: \$10.00
 Total Recording Fees Paid: **\$200.00**

Mortgage Taxes

Document Date:
 Mortgage Amount:
 Basic: \$0.00
 Westchester: \$0.00
 Additional: \$0.00
 MTA: \$0.00
 Special: \$0.00
 Yonkers: \$0.00
 Total Mortgage Tax: **\$0.00**

Transfer Taxes

Consideration: \$1,675,000.00
 Transfer Tax: \$6,700.00
 Mansion Tax: \$16,750.00
 Transfer Tax Number: 10715

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 03/25/2020 at 12:34 PM

Control Number: **600763637**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

RANDIE PATERNO, P.C.
 16 SCHOOL STREET
 SUITE 101
 RYE, NY 10580
 Attn: RANDIE PATERNO, ESQ.

57 Osborn Road

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



600293477DED0012

Westchester County Recording & Endorsement Page

Submitter Information

Name: CATIC Title Insurance Company Phone: 914-418-9847
 Address 1: 660 White Plains Road, Suite 570 Fax: 833-329-2228
 Address 2: Email: nyrecordings@CaticTitle.com
 City/State/Zip: Tarrytown NY 10591 Reference for Submitter: 2285

Document Details

Control Number: **600293477** Document Type: **Deed (DED)**
 Package ID: 2020012900244001001 Document Page Count: **3** Total Page Count: **5**

Parties

Additional Parties on Continuation page

1st PARTY **2nd PARTY**
 1: DUNN ROBERT J - Individual 1: BROWN ROBERT - Individual
 2: DUNN PHYLLIS K - Individual 2: BROWN AILEEN - Individual

Property

Additional Properties on Continuation page

Street Address: 57 OSBORN ROAD Tax Designation: 146.17-3-76
 City/Town: RYE CITY Village:

Cross-References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
 Page Fee: \$20.00
 Cross-Reference Fee: \$0.00
 Mortgage Affidavit Filing Fee: \$0.00
 RP-5217 Filing Fee: \$125.00
 TP-584 Filing Fee: \$5.00
 RPL 291 Notice Fee: \$10.00
 Total Recording Fees Paid: **\$200.00**

Mortgage Taxes

Document Date:
 Mortgage Amount:
 Basic: \$0.00
 Westchester: \$0.00
 Additional: \$0.00
 MTA: \$0.00
 Special: \$0.00
 Yonkers: \$0.00
 Total Mortgage Tax: **\$0.00**

Transfer Taxes

Consideration: \$1,585,000.00
 Transfer Tax: \$6,340.00
 Mansion Tax: \$15,850.00
 Transfer Tax Number: 11819

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 05/13/2020 at 11:49 AM

Control Number: **600293477**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Becky Sena, Esq.
 16 School Street
 Suite 101
 RYE, NY 10580

61 Osborn Road



W03895214



DED2



*** DO NOT REMOVE ***

WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED-DEED FEE PAGE 4 TOTAL PAGES 4
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE	<u>5.25</u>
REC'ING CHARGE	<u>12.00</u>
RECMGT FUND	<u>4.75</u>
EA 5217	<u>25.00</u>
TP-584	<u>6.00</u>
CROSS-REF.	<u>0.00</u>
MISC.	<u> </u>

MORTGE. DATE	<u> </u>
MORTGE. AMT	<u> </u>
EXEMPT	YES <u> </u> NO <u> </u>

LIBER: 11201
PAGE : 347

REC'D TAX ON ABOVE MTGE:	
YONKERS	\$ <u> </u>
BASIC	\$ <u> </u>
ADDITIONAL	\$ <u> </u>
SUBTOTAL	\$ <u> </u>
MTA	\$ <u> </u>
SPECIAL	\$ <u> </u>
TOTAL PAID	\$ <u> </u>

THE PROPERTY IS SITUATED
IN WESTCHESTER COUNTY,
NEW YORK IN THE:
CITY OF RYE CITY

TOTAL PAID
53.00

\$ 600000.00
CONSIDERATION

SERIAL NO.

DWELLING 1-6 OVER

RECEIVED:
TAX AMOUNT \$ 2400.00
TRANSFER TAX# 0000064

 DUAL TOWN
 DUAL COUNTY/STATE
 HELD
 NOT HELD

TITLE COMPANY NUMBER:

EXAMINED BY PJC1

TERMINAL CTRL# 95214W038

DATE RETURNED

0000548000 08/02/95CPA/DE 53.00
09:18

WITNESS MY HAND AND OFFICIAL SEAL

Leonard N. Spano

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



571353499DED002A

Westchester County Recording & Endorsement Page

Submitter Information

Name: Judicial Title Insurance- PICK UP Phone: 914-381-6700
 Address 1: 800 Westchester Avenue Fax: 914-381-6785
 Address 2: Email: JTrecording@judicialtitle.com
 City/State/Zip: Rye Brook NY 10573 Reference for Submitter: 127475-sb ef

Document Details

Control Number: **571353499** Document Type: **Deed (DED)**
 Package ID: 2017051500252001001 Document Page Count: **3** Total Page Count: **4**

Parties

Additional Parties on Continuation page

1st PARTY **2nd PARTY**
 1: CHORON DOUGLAS B - Individual 1: 61 GRANDVIEW DEVELOPMENT LLC - Other
 2: - 2: SOLLECITO ROCCO - Individual

Property

Additional Properties on Continuation page

Street Address: 61 OSBORN ROAD Tax Designation: 146.17-3-75
 City/Town: RYE CITY Village:

Cross-References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
 Page Fee: \$20.00
 Cross-Reference Fee: \$0.00
 Mortgage Affidavit Filing Fee: \$0.00
 RP-5217 Filing Fee: \$125.00
 TP-584 Filing Fee: \$5.00
 Total Recording Fees Paid: **\$190.00**

Mortgage Taxes

Document Date:
 Mortgage Amount:
 Basic: \$0.00
 Westchester: \$0.00
 Additional: \$0.00
 MTA: \$0.00
 Special: \$0.00
 Yonkers: \$0.00
 Total Mortgage Tax: **\$0.00**

Transfer Taxes

Consideration: \$1,635,000.00
 Transfer Tax: \$6,540.00
 Mansion Tax: \$16,350.00
 Transfer Tax Number: 13411

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 05/19/2017 at 02:57 PM

Control Number: **571353499**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

judicial title
 800 westchester ave
 suite s-340
 rye brook, NY 10573

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



581413298DED0015

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Future Title Agency, Inc.	Phone:	914-666-7770
Address 1:	Attn: Mary E. Rasamny	Fax:	914-666-7767
Address 2:	280 North Bedford Rd., Suite 307	Email:	ftc@futuretitleco.com
City/State/Zip:	Mount Kisco NY 10549	Reference for Submitter:	7608

Document Details

Control Number:	581413298	Document Type:	Deed (DED)
Package ID:	2018052100153001001	Document Page Count:	3
		Total Page Count:	4

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY	
1:	61 GRANDVIEW DEVELOPMENT LLC	1:	TIMCHAK CHRISTOPHER - Individual
2:	- Other	2:	TIMCHAK AMANDA - Individual

Property

Additional Properties on Continuation page

Street Address:	61 OSBORN ROAD	Tax Designation:	146.17-3-75
City/Town:	RYE CITY	Village:	

Cross-References

Additional Cross-Refs on Continuation page

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
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Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$190.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$3,749,940.00
Transfer Tax:	\$15,000.00
Mansion Tax:	\$37,499.40
Transfer Tax Number:	13419

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 05/25/2018 at 10:50 AM

Control Number: **581413298**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

George Grossman, Esq.
17 Elm Place
Rye, NY 10580

71 Osborn Road



WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT bed
(SEE CODES FOR DEFINITIONS)

THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, N.Y. IN
THE

- 02 TOWN OF BEDFORD
- 06 TOWN OF CORTLANDT
- 09 TOWN OF EASTCHESTER
- 11 TOWN OF GREENBURGH
- 12 TOWN OF HARRISON
- 16 TOWN OF LEWISBORO
- 17 TOWN OF MAMARONECK
- 19 TOWN OF MT. KISCO
- 20 TOWN OF MT. PLEASANT
- 21 CITY OF MT. VERNON
- 22 TOWN OF NEW CASTLE
- 23 CITY OF NEW ROCHELLE
- 24 TOWN OF NORTH CASTLE
- 26 TOWN OF NORTH SALEM
- 28 TOWN OF OSSINING
- 30 CITY OF PEEKSKILL
- 31 TOWN OF PELHAM
- 35 TOWN OF POUND RIDGE
- 36 CITY OF RYE
- 37 TOWN OF RYE
- 38 TOWN OF SCARSDALE
- 39 TOWN OF SOMERS
- 42 CITY OF WHITE PLAINS
- 43 CITY OF YONKERS
- 44 TOWN OF YORKTOWN

LIBER 9832
PAGE 301

STAT'Y CHARGE 525
REC'ING CHARGE 6-
FILING CHARGE 425
GROSS REFERENCE _____
CERT/RECEIPT _____

TOTAL
16-

\$ 632,500 -
CONSIDERATION

RECEIVED
\$ 2530 -
JUN 21 1990
12829
REAL ESTATE
TRANSFER TAX
WESTCHESTER COUNTY

MORTG. DATE _____
MORTG. AMOUNT _____
EXEMPT YES _____ NO _____
REC'D TAX ON ABOVE MTGE:
BASIC \$ _____
ADDTL \$ _____
SUBTOTAL \$ _____
SPECIAL \$ _____
TOTAL \$ _____
SERIAL No. _____
DWELLING:
 1-6 UNITS
 OVER 6 UNITS
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

ADDITIONAL COMMENTS

TERMINAL No. 701720043 DATE RETURNED _____

EXAMINED BY
WITNESSED BY HAND AND OFFICIAL SEAL
Andrew J. Spano
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

THE RECORDING DATE OF THIS INSTRUMENT AS INDICATED BELOW IS THE OFFICIAL DATE ON WHICH THE WESTCHESTER COUNTY CLERK RECEIVED THIS INSTRUMENT. QUESTIONS REGARDING DELAYS PRIOR TO THIS DATE SHOULD BE ADDRESSED TO YOUR REPRESENTATIVE OR ATTORNEY.

000054B000 06/21/90CPA/DE 16.00
09:38

RECEIVED
90 JUN 21 AM 9:17
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

RECORD AND RETURN
Cerrato, Sweeney, Cohn,
Stahl + Vaccaro,
200 East Post Road, P.O. Box 351
White Plains, N.Y. 10603
Attn: William M. Joyce, Esq



R02495096



DED2

36



*** DO NOT REMOVE ***

WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED-DEED FEE PAGE 3 TOTAL PAGES 4
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE 5.25
REC'ING CHARGE 9.00
RECMGT FUND 4.75
EA 5217 25.00
TP-584 6.00
CROSS-REF. 0.00
MISC. _____

MORTGE. DATE _____
MORTGE. AMT _____
EXEMPT YES _____ NO _____

LIBER: 11123
PAGE : 47

REC'D TAX ON ABOVE MTGE:
YONKERS \$ _____
BASIC \$ _____
ADDITIONAL \$ _____
SUBTOTAL \$ _____
MTA \$ _____
SPECIAL \$ _____
TOTAL PAID \$ _____

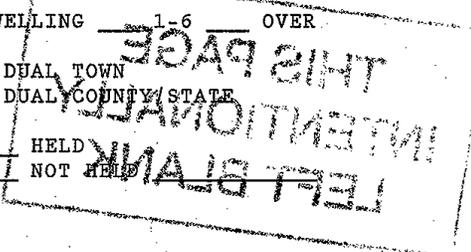
THE PROPERTY IS SITUATED
IN WESTCHESTER COUNTY,
NEW YORK IN THE:
CITY OF RYE CITY

TOTAL PAID
50.00

\$ 795000.00
CONSIDERATION

RECEIVED:
TAX AMOUNT \$ 3180.00
TRANSFER TAX# 0012149

SERIAL NO. _____
DWELLING 1-6 OVER
- DUAL TOWN
- DUAL COUNTY/STATE
- HELD
- NOT HELD



TITLE COMPANY NUMBER: _____

EXAMINED BY MAC2

TERMINAL CTRL# 95096R024

DATE RETURNED _____

088867B000 04/06/95CPA/DE 50.00
10:09

I HEREBY CERTIFY THAT THE ABOVE
INFORMATION FEES AND TAXES ARE
CORRECT
WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



532753459DED0017

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Thoroughbred Title Services, LLC	Phone:	914-644-6100
Address 1:	800 Westchester Avenue	Fax:	914-644-6159
Address 2:	Suite S434	Email:	contactus@thoroughbredtitleservices.co
City/State/Zip:	Rye Brook NY 10573	Reference for Submitter:	TTS-30422-Morell

Document Details

Control Number: 532753459	Document Type: Deed (DED)
Package ID: 2013100200218001003	Document Page Count: 3 Total Page Count: 4

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY	
1: MORELL MARK J	- Individual	1: CALACCI RICHARD A	- Individual
2: MORELL BROOKE H	- Individual	2: BOES HELEN K	- Individual

Property

Additional Properties on Continuation page

Street Address: 71 OSBORN ROAD	Tax Designation: 146.17-3-74
City/Town: RYE CITY	Village:

Cross-References

Additional Cross-Refs on Continuation page

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$190.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$1,835,000.00
Transfer Tax:	\$7,340.00
Mansion Tax:	\$18,350.00
Transfer Tax Number:	4655

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 11/12/2013 at 04:01 PM

Control Number: **532753459**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

THOROUGHbred TITLE SERVICES
800 WESTCHESTER AVENUE
SUITE S434
RYE BROOK, NY 10573
Attn: RECORDING DEPT.

81 Osborn Road



WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DOD
(SEE CODES FOR DEFINITIONS)

THE PROPERTY IS SITUATED IN WESTCHESTER COUNTY, N.Y. IN THE

- 02 TOWN OF BEDFORD
- 06 TOWN OF CORTLANDT
- 09 TOWN OF EASTCHESTER
- 11 TOWN OF GREENBURGH
- 12 TOWN OF HARRISON
- 16 TOWN OF LEWISBORO
- 17 TOWN OF MAMARONECK
- 19 TOWN OF MT. KISCO
- 20 TOWN OF MT. PLEASANT
- 21 CITY OF MT. VERNON
- 22 TOWN OF NEW CASTLE
- 23 CITY OF NEW ROCHELLE
- 24 TOWN OF NORTH CASTLE
- 26 TOWN OF NORTH SALEM
- 28 TOWN OF OSSINING
- 30 CITY OF PEEKSKILL
- 31 TOWN OF PELHAM
- 35 TOWN OF POUND RIDGE
- 36 CITY OF RYE
- 37 TOWN OF RYE
- 38 TOWN OF SCARSDALE
- 39 TOWN OF SOMERS
- 42 CITY OF WHITE PLAINS
- 43 CITY OF YONKERS
- 44 TOWN OF YORKTOWN

LIBER 9580
PAGE 19

STAT'Y CHARGE 5
REC'ING CHARGE 6
FILING CHARGE _____
CROSS REFERENCE _____
CERT/RECEIPT _____

TOTAL
11

\$ 856100
CONSIDERATION

RECEIVED
\$ 3426
JUL 14 1989
REAL ESTATE
TRANSFER TAX
WESTCHESTER COUNTY

15683

MORTG. DATE _____
MORTG. AMOUNT _____
EXEMPT YES _____ NO _____
REC'D TAX ON ABOVE MTGE:
BASIC \$ _____
ADDTL \$ _____
SUBTOTAL \$ _____
SPECIAL \$ _____
TOTAL \$ _____

SERIAL No. _____
DWELLING:

1-6 UNITS
 OVER 6 UNITS

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

ADDITIONAL COMMENTS

TERMINAL No. 89195K059 DATE RETURNED _____

EXAMINED BY _____
WITNESS MY HAND AND OFFICIAL SEAL
Andrew J. Spano
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

THE RECORDING DATE OF THIS INSTRUMENT AS INDICATED BELOW IS THE OFFICIAL DATE ON WHICH THE WESTCHESTER COUNTY CLERK RECEIVED THIS INSTRUMENT. QUESTIONS REGARDING DELAYS PRIOR TO THIS DATE SHOULD BE ADDRESSED TO YOUR REPRESENTATIVE OR ATTORNEY.

RECEIVED
89 JUL 14 P. 12 08
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

0008728000 07/14/89CPA/DE 11.00
12:16

RECORD AND RETURN

LIBER 9965 PAGE 222



WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

ADDITIONAL COMMENTS

RECORD AND RETURN
Hatcher, Proffitt & Wood, Esqs
11 Martine Avenue
White Plains, N.Y. 10606
Attn: Gerald O. Hjertson, Esq
TITLE COMPANY NUMBER L13488

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED
(SEE CODES FOR DEFINITIONS)

THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, N.Y. IN
THE

- 02 TOWN OF BEDFORD
- 06 TOWN OF CORTLANDT
- 09 TOWN OF EASTCHESTER
- 11 TOWN OF GREENBURGH
- 12 TOWN OF HARRISON
- 16 TOWN OF LEWISBORO
- 17 TOWN OF MAMARONECK
- 19 TOWN OF MT. KISCO
- 20 TOWN OF MT. PLEASANT
- 21 CITY OF MT. VERNON
- 22 TOWN OF NEW CASTLE
- 23 CITY OF NEW ROCHELLE
- 24 TOWN OF NORTH CASTLE
- 26 TOWN OF NORTH SALEM
- 28 TOWN OF OSSINING
- 30 CITY OF PEEKSKILL
- 31 TOWN OF PELHAM
- 35 TOWN OF POUND RIDGE
- 36 CITY OF RYE
- 37 TOWN OF RYE
- 38 TOWN OF SCARSDALE
- 39 TOWN OF SOMERS
- 42 CITY OF WHITE PLAINS
- 43 CITY OF YONKERS
- 44 TOWN OF YORKTOWN

LIBER 9965
PAGE 220

STAT'Y CHARGE 521
REC'ING CHARGE 6
REC. MGT. FUND 421

CROSS REFERENCE _____
CERT/RECEIPT _____

TOTAL
16

\$ 860,000
CONSIDERATION

MORTG. DATE _____
MORTG. AMOUNT _____

EXEMPT YES _____ NO _____
REC'D TAX ON ABOVE MTGE: _____

BASIC \$ _____
ADDTL \$ _____
SUBTOTAL \$ _____
SPECIAL \$ _____
TOTAL \$ _____

SERIAL No. _____

DWELLING: 1-6 OVER

RECEIVED
\$ 3440
JAN 18 1991
6279

REAL ESTATE
TRANSFER TAX
WESTCHESTER COUNTY

DUAL TOWN
 DUAL COUNTY/STATE
 HELD
 NOT HELD

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

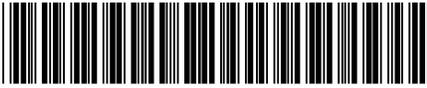
RECEIVED
91 JAN 18 AM 11:50
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

TERMINAL No. 41018/04 DATE RETURNED _____

EXAMINED BY
WITNESS BY HAND AND OFFICIAL SEAL
Andrew J. Spano
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

000067B000 01/18/91CFA/DE 16.00
11:54

THE RECORDING DATE OF THIS INSTRUMENT AS INDICATED BELOW IS THE OFFICIAL DATE ON WHICH THE WESTCHESTER COUNTY CLERK RECEIVED THIS INSTRUMENT.
QUESTIONS REGARDING DELAYS PRIOR TO THIS DATE SHOULD BE ADDRESSED TO YOUR REPRESENTATIVE OR ATTORNEY.



472560381DED1

Control Number
472560381

Instrument Type
DED



**WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)**

***** DO NOT REMOVE *****

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT: DED - DEED

FEE PAGES: 5 TOTAL PAGES: 5

RECORDING FEES

STATUTORY CHARGE	\$6.00
RECORDING CHARGE	\$15.00
RECORD MGT. FUND	\$19.00
RP 5217	\$75.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$120.00

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
COUNTY TAX	\$0.00
YONKERS TAX	\$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

TRANSFER TAXES

CONSIDERATION	\$750,000.00
TAX PAID	\$0.00
TRANSFER TAX #	2020

SERIAL NUMBER:

DWELLING:

RECORDING DATE: 9/18/2007

TIME: 13:53:00

**THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
CITY OF RYE**

TAXES PAID IN ALBANY

WITNESS MY HAND AND OFFICIAL SEAL

**TIMOTHY C. IDONI
WESTCHESTER COUNTY CLERK**

Record & Return to:
**LAURIS G L RALL
81 OSBORNE RD**

RYE, NY 10580

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



521923573DED0011

Westchester County Recording & Endorsement Page

Submitter Information

Name:	David Chesnut, Future Title Company, Inc.	Phone:	914-666-7770
Address 1:	Attn: Mary K. Rasamny	Fax:	914-666-7767
Address 2:	37 West Main Street	Email:	ftc@futuretitleco.com
City/State/Zip:	Mount Kisco NY 10549	Reference for Submitter:	6288

Document Details

Control Number:	521923573	Document Type:	Deed (DED)
Package ID:	2012071000242001001	Document Page Count:	2
		Total Page Count:	3

Parties

1st PARTY		<input type="checkbox"/> Additional Parties on Continuation page	
		2nd PARTY	
1:	RALL LAURIS G - Individual	1:	MCLAUGHLIN MICHAEL L - Individual
2:		2:	MCLAUGHLIN SYLVIA H - Individual

Property

Street Address:	81 OSBORN ROAD	Tax Designation:	146.17-3-73
City/Town:	RYE CITY	Village:	

Cross-References

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$15.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$185.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$1,682,500.00
Transfer Tax:	\$6,730.00
Mansion Tax:	\$16,825.00
Transfer Tax Number:	43896

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 07/31/2012 at 02:22 PM

Control Number: **521923573**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

GEORGE GROSSMAN, ESQ.
14 ELM PLACE
RYE, NY 10580

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



571583381DED0015

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Future Title Agency, Inc.	Phone:	914-666-7770
Address 1:	Attn: Mary E. Rasamny	Fax:	914-666-7767
Address 2:	280 North Bedford Rd., Suite 307	Email:	ftc@futuretitleco.com
City/State/Zip:	Mount Kisco NY 10549	Reference for Submitter:	McLaughlin

Document Details

Control Number:	571583381	Document Type:	Deed (DED)
Package ID:	2017060700232001001	Document Page Count:	3
		Total Page Count:	4

Parties

1st PARTY		<input type="checkbox"/> Additional Parties on Continuation page	
1:	MCLAUGHLIN MICHAEL L - Individual	1:	KELLER ANDREW J - Individual
2:	MCLAUGHLIN SYLVIA H - Individual	2:	KELLER HELEN S - Individual

Property

Street Address:	81 OSBORN ROAD	Tax Designation:	146.17-3-73
City/Town:	RYE CITY	Village:	

Cross-References

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$190.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00
Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

Transfer Taxes

Consideration:	\$2,700,000.00
Transfer Tax:	\$10,800.00
Mansion Tax:	\$27,000.00
Transfer Tax Number:	15297

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 06/27/2017 at 12:00 PM

Control Number: **571583381**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Patricia S. Rafter, Esq.
14 Elm Place
Rye, NY 10580

97 Osborn Road



WESTCHESTER COUNTY CLERK RECORDING PAGE
(THIS PAGE IS PART OF THE INSTRUMENT)

LIBER 8713 PAGE 240

TYPE OF INSTRUMENT D&D DATE _____
 STATUTORY CHARGE 5 MTGE AMT _____
 RECORDING CHARGE 12 EXEMPT YES ___ NO ___
 FILING CHARGE 1 REC'D TAX ON ABOVE MTGE _____
 CROSS REFERENCE _____ BASIC \$ _____
 CERT/RECEIPT _____ ADDITIONAL \$ _____
 SUBTOTAL \$ _____
 SPECIAL \$ _____
 TOTAL \$ _____
 SERIAL NO _____

RECEIVED
WESTCHESTER COUNTY CLERK

JAN 27 9 31 AM '87

- 02 BEDFORD
- 06 CORTLANDT
- 09 EASTCHESTER
- 11 GREENBURGH
- 12 HARRISON
- 16 LEWISBORO
- 17 MAMARONECK
- 19 MT KISCO
- 20 MT PLEASANT
- 21 MT VERNON
- 22 NEW CASTLE
- 23 NEW ROCHELLE
- 24 NORTH CASTLE
- 26 NORTH SALEM
- 28 OSSINING
- 30 PEEKSKILL
- 31 PELHAM
- 35 POUND RIDGE
- 36 RYE CITY
- 37 RYE TOWN
- 38 SCARSDALE
- 39 SOMERS
- 42 WHITE PLAINS
- 43 YONKERS
- 44 YORKTOWN

CONSID 537,000

RECEIVED
\$ 2148
REAL ESTATE
JAN 27 1987
TRANSFER TAX
WESTCHESTER
COUNTY

11301

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

TERMINAL NO 87027011 TRANSFER FEES NO _____ DATE RET'D _____

1466B001 01/27/87CPA 18.00

		SECTION _____ BLOCK _____ LOT _____ VILLAGE _____ TOWN _____ COUNTY _____ RECORD AND RETURN TO: _____
--	--	---

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:
 THE PROPERTY AFFECTED BY THIS INSTRUMENT IS SITUATE IN THE
 TOWN CITY OF Rye COUNTY OF WESTCHESTER
 N.Y. A TRUE COPY OF THE ORIGINAL Deed RECORDED
 IN THE DIVISION OF LAND RECORDS OF THE COUNTY CLERK'S OFFICE OF
 WESTCHESTER COUNTY ON Jan. 27, 1987 AT 9:31a M. IN
 LIBER 8713 PAGE 236 IN THE BOOK OF Deeds
 WITNESS MY HAND AND OFFICIAL SEAL:
Andrew Spano
 ANDREW J. SPANO, COUNTY CLERK



K02197181



DED2



*** DO NOT REMOVE ***

WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED-DEED FEE PAGE 5 TOTAL PAGES 5
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE 5.25
REC'ING CHARGE 15.00
RECMGT FUND 4.75
EA 5217 25.00
TP-584 5.00
CROSS-REF. 0.00
MISC. _____

MORTGE. DATE _____
MORTGE. AMT _____
EXEMPT YES _____ NO _____

LIBER: 11754
PAGE : 93

REC'D TAX ON ABOVE MTGE:
YONKERS \$ _____
BASIC \$ _____
ADDITIONAL \$ _____
SUBTOTAL \$ _____
MTA \$ _____
SPECIAL \$ _____
TOTAL PAID \$ _____

THE PROPERTY IS SITUATED
IN WESTCHESTER COUNTY,
NEW YORK IN THE:
CITY OF RYE CITY

TOTAL PAID
55.00

\$ 950000.00
CONSIDERATION

SERIAL NO. _____
DWELLING 1-6 OVER

RECEIVED:
TAX AMOUNT \$ 3800.00
TRANSFER TAX# 0017006

___ DUAL TOWN
___ DUAL COUNTY/STATE
___ HELD
___ NOT HELD _____

TITLE COMPANY NUMBER: 01

EXAMINED BY LLH6 RECORDING DATE 06/30/97

TERMINAL CTRL# 97181K021 TIME 14:50

DATE RETURNED _____

WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK



400820176DEDH

Control Number
400820176

WIID Number
2000082-000083

Instrument Type
DED



**WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)**

***** DO NOT REMOVE *****

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED - DEED

FEE PAGES 4

TOTAL PAGES 4

RECORDING FEES

STATUTORY CHARGE	\$5.25
RECORDING CHARGE	\$12.00
RECORD MGT. FUND	\$4.75
RP 5217	\$25.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$52.00

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
YONKERS	\$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
SUBTOTAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

TRANSFER TAXES

CONSIDERATION	\$1,200,000.00
TAX PAID	\$16,800.00
TRANSFER TAX #	12164

**SERIAL NUMBER
DWELLING**

**RECORDING DATE 04/18/2000
TIME 07:50:00**

**THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
CITY OF RYE**

WITNESS MY HAND AND OFFICIAL SEAL

**LEONARD N. SPANO
WESTCHESTER COUNTY CLERK**

Record & Return to:
**Future title Co. Inc.
59 South Greeley Ave.
Chappaqua, NY 10514**

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



610063362DED002R

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Future Title Agency, Inc.	Phone:	914-666-7770
Address 1:	Attn: David Chesnut	Fax:	914-666-7767
Address 2:	280 North Bedford Rd., Suite 307	Email:	ftc@futuretitleco.com
City/State/Zip:	Mount Kisco NY 10549	Reference for Submitter:	8438

Document Details

Control Number:	610063362	Document Type:	Deed (DED)
Package ID:	2021010600171001002	Document Page Count:	3
		Total Page Count:	4

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY			
1:	MACDONALD ROBERT C	- Individual	1:	VELASQUEZ JACK	- Individual
2:	LANSKY ALEXANDRA S	- Individual	2:	VELASQUEZ KATE	- Individual

Property

Additional Properties on Continuation page

Street Address:	97 OSBORN ROAD	Tax Designation:	146.17-3-71
City/Town:	RYE CITY	Village:	

Cross-References

Additional Cross-Refs on Continuation page

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
RPL 291 Notice Fee:	\$10.00
Total Recording Fees Paid:	\$200.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$2,435,000.00
Transfer Tax:	\$9,740.00
Mansion Tax:	\$24,350.00
Transfer Tax Number:	23821

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 01/21/2021 at 12:29 PM

Control Number: **610063362**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

George Grossman, Esq.
17 Elm Place
Rye, NY 10580

111 Osborn Road



WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

ADDITIONAL COMMENTS

RECORD AND RETURN
TITLE COMPANY NUMBER

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DES
(SEE CODES FOR DEFINITIONS)

- THE PROPERTY IS SITUATED IN WESTCHESTER COUNTY, N.Y. IN THE
- 02 TOWN OF BEDFORD
 - 06 TOWN OF CORTLANDT
 - 09 TOWN OF EASTCHESTER
 - 11 TOWN OF GREENBURGH
 - 12 TOWN OF HARRISON
 - 16 TOWN OF LEWISBORO
 - 17 TOWN OF MAMARONECK
 - 19 TOWN OF MT. KISCO
 - 20 TOWN OF MT. PLEASANT
 - 21 CITY OF MT. VERNON
 - 22 TOWN OF NEW CASTLE
 - 23 CITY OF NEW ROCHELLE
 - 24 TOWN OF NORTH CASTLE
 - 26 TOWN OF NORTH SALEM
 - 28 TOWN OF OSSINING
 - 30 CITY OF PEEKSKILL
 - 31 TOWN OF PELHAM
 - 35 TOWN OF POUND RIDGE
 - 36 CITY OF RYE
 - 37 TOWN OF RYE
 - 38 TOWN OF SCARSDALE
 - 39 TOWN OF SOMERS
 - 42 CITY OF WHITE PLAINS
 - 43 CITY OF YONKERS
 - 44 TOWN OF YORKTOWN

LIBER 9860
PAGE 147

STAT'Y CHARGE 5.25
REC'ING CHARGE 6
REC. MGT. FUND 4.75
CROSS REFERENCE _____
CERT/RECEIPT _____

TOTAL
16

\$ 475000
CONSIDERATION

RECEIVED
\$ 1900
JUL 30 1990
14451

REAL ESTATE
TRANSFER TAX
WESTCHESTER COUNTY

MORTG. DATE _____
MORTG. AMOUNT _____
EXEMPT YES _____ NO _____
REC'D TAX ON ABOVE MTGE: _____

BASIC \$ _____
ADDTL \$ _____
SUBTOTAL \$ _____
SPECIAL \$ _____
TOTAL \$ _____

SERIAL No. _____
DWELLING: 1-6 OVER

DUAL TOWN
 DUAL COUNTY/STATE
 HELD
 NOT HELD _____

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

RECEIVED
90 JUL 30 AM 10:29
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

TERMINAL No. 90211007 DATE RETURNED

EXAMINED BY
WITNESS BY HAND AND OFFICIAL SEAL
Andrew J. Spano
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

0000528000 07/30/90CRA/DE 16.00
10:46

THE RECORDING DATE OF THIS INSTRUMENT AS INDICATED BELOW IS THE OFFICIAL DATE ON WHICH THE WESTCHESTER COUNTY CLERK RECEIVED THIS INSTRUMENT. QUESTIONS REGARDING DELAYS PRIOR TO THIS DATE SHOULD BE ADDRESSED TO YOUR REPRESENTATIVE OR ATTORNEY.



N04192104



DED2

36



WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED-DEED FEE PAGE 3 TOTAL PAGES 4
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE 5.25
REC'ING CHARGE 9.00
RECMGT FUND 4.75
EA 5217 25.00
TP-584 6.00
CROSS-REF. 0.00
MISC. _____

MORTGE. DATE _____
MORTGE. AMT _____
EXEMPT YES _____ NO _____

LIBER: 10270
PAGE : 107

REC'D TAX ON ABOVE MTGE:
BASIC \$ _____
ADDITIONAL \$ _____

THE PROPERTY IS SITUATED
IN WESTCHESTER COUNTY,
NEW YORK IN THE:
CITY OF RYE CITY

SUBTOTAL \$ _____
SPECIAL \$ _____
TOTAL \$ _____

TOTAL
50.00

\$ 525000.00
CONSIDERATION

SERIAL NO. _____
DWELLING 1-6 OVER

RECEIVED:
TAX AMOUNT \$ 2100.00
TRANSFER TAX# 0009999

DUAL TOWN
 DUAL COUNTY/STATE
 HELD
 NOT HELD

TITLE COMPANY NUMBER: _____

EXAMINED BY DKL1

TERMINAL CTRL# 92104N041

DATE RETURNED _____

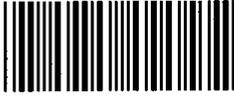
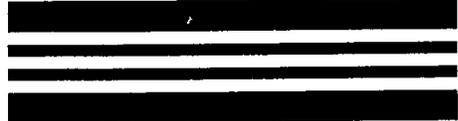
0000838000 04/13/92CFA/DE 50.00
14:28

I HEREBY CERTIFY THAT THE ABOVE
INFORMATION FEES AND TAXES ARE
CORRECT
WITNESS MY HAND AND OFFICIAL SEAL

Andrew J. Spano
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK



K02698061



DED2



*** DO NOT REMOVE ***

WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED-DEED FEE PAGE 4 TOTAL PAGES 4
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE 5.25
REC'ING CHARGE 12.00
RECMGT FUND 4.75
EA 5217 25.00
TP-584 5.00
CROSS-REF. 0.00
MISC. _____

MORTGE. DATE _____
MORTGE. AMT _____
EXEMPT YES ___ NO ___

LIBER: 11936
PAGE : 279

REC'D TAX ON ABOVE MTGE:
YONKERS \$ _____
BASIC \$ _____
ADDITIONAL \$ _____
SUBTOTAL \$ _____
MTA \$ _____
SPECIAL \$ _____
TOTAL PAID \$ _____
=====

THE PROPERTY IS SITUATED
IN WESTCHESTER COUNTY,
NEW YORK IN THE:
CITY OF RYE CITY

TOTAL PAID
52.00

\$ 655000.00
CONSIDERATION

SERIAL NO. _____
DWELLING ___ 1-6 ___ OVER

RECEIVED:
TAX AMOUNT \$ 2620.00
TRANSFER TAX# 0010738

___ DUAL TOWN
___ DUAL COUNTY/STATE
___ HELD
___ NOT HELD _____

TITLE COMPANY NUMBER: 01

EXAMINED BY LLH6 RECORDING DATE 03/02/98

TERMINAL CTRL# 98061K026 TIME 15:14

DATE RETURNED _____

WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK



440361116DEDF

Control Number 440361116	WIID Number 2004036-000433	Instrument Type DED
------------------------------------	--------------------------------------	-------------------------------



**WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)**

*** DO NOT REMOVE ***

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED - DEED

FEE PAGES 5

TOTAL PAGES 5

RECORDING FEES

STATUTORY CHARGE	\$6.00
RECORDING CHARGE	\$15.00
RECORD MGT. FUND	\$19.00
RP 5217	\$50.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$95.00

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
YONKERS	\$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
SUBTOTAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

TRANSFER TAXES

CONSIDERATION	\$1,625,000.00
TAX PAID	\$22,750.00
TRANSFER TAX #	5947

SERIAL NUMBER
DWELLING

RECORDING DATE	03/22/2004
TIME	11:18:00

THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
CITY OF RYE

WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

Record & Return to: ALAN PILLA 107 LAKE AVE TUCKAHOE, NY 10709

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



501963042DED001U

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Thoroughbred Title Services, LLC	Phone:	914-644-6100
Address 1:	800 Westchester Avenue	Fax:	914-644-6159
Address 2:	Suite S434	Email:	vesposito@thoroughbredtitleservices.co
City/State/Zip:	Rye Brook NY 10573	Reference for Submitter:	20883-Pritchard

Document Details

Control Number: 501963042	Document Type: Deed (DED)
Package ID: 2010071500020001001	Document Page Count: 3 Total Page Count: 4

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY	
1: ROOT ANDREW	- Individual	1: PRITCHARD ROBERT	- Individual
2: ROOT TARA	- Individual	2: BREITENBACH LAURA	- Individual

Property

Additional Properties on Continuation page

Street Address: 111 OSBORN ROAD	Tax Designation: 146.17-3-69
City/Town: RYE CITY	Village:

Cross-References

Additional Cross-Refs on Continuation page

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$190.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$1,810,000.00
Transfer Tax:	\$7,240.00
Mansion Tax:	\$18,100.00
Transfer Tax Number:	15

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 08/02/2010 at 08:27 AM

Control Number: **501963042**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Thoroughbred Title Services, LLC
 800 Westchester Avenue
 Suite S434
 Rye Brook, NY 10573
 Attn: Vincent Esposito

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



582683389DED003G

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Future Title Agency, Inc.	Phone:	914-666-7770
Address 1:	Attn: Mary E. Rasamny	Fax:	914-666-7767
Address 2:	280 North Bedford Rd., Suite 307	Email:	ftc@futuretitleco.com
City/State/Zip:	Mount Kisco NY 10549	Reference for Submitter:	Pritchard-Martin

Document Details

Control Number:	582683389	Document Type:	Deed (DED)
Package ID:	2018092500202001004	Document Page Count:	4
		Total Page Count:	6

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY			
1:	PRITCHARD ROBERT	- Individual	1:	PLUMMER SEAN S	- Individual
2:	MARTIN LAURA	- Individual	2:	PLUMMER CATHERINE L	- Individual

Property

Additional Properties on Continuation page

Street Address:	111 OSBORN ROAD	Tax Designation:	146.17-3-69
City/Town:	RYE CITY	Village:	

Cross-References

Additional Cross-Refs on Continuation page

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$25.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$195.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$2,123,000.00
Transfer Tax:	\$3,538.00
Mansion Tax:	\$21,230.00
Transfer Tax Number:	5276

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 11/19/2018 at 11:28 AM

Control Number: **582683389**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

George Grossman, Esq.
17 Elm Place
Rye, NY 10580

115 Osborn Road

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



581453187DED0016

Westchester County Recording & Endorsement Page

Submitter Information

Name:	CSC Ingeo	Phone:	855-200-1150
Address 1:	919 North 1000 West	Fax:	435-755-7025
Address 2:		Email:	csc-help@cscinfo.com
City/State/Zip:	Logan UT 84321	Reference for Submitter:	10321768-CSC Ingeo

Document Details

Control Number:	581453187	Document Type:	Deed (DED)
Package ID:	2018062500063001000	Document Page Count:	3
		Total Page Count:	4

Parties

1st PARTY		<input type="checkbox"/> Additional Parties on Continuation page	
1:	ANNE DONNELLY TRUST	- Other	1:
2:	DONNELLY ANNE G	- Individual	2:
			2nd PARTY
			1:
			2:
			61 GRANDVIEW DEVELOPMENT LLC
			- Other

Property

Street Address:	115 OSBORN ROAD	Tax Designation:	146.17-3-68
City/Town:	RYE CITY	Village:	

Cross-References

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$190.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$1,202,000.00
Transfer Tax:	\$4,808.00
Mansion Tax:	\$12,020.00
Transfer Tax Number:	14845

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 06/25/2018 at 12:03 PM

Control Number: **581453187**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

James Marsico, Esq.
2500 Westchester Avenue
Suite 109
Purchase, NY 10577

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



591233364DED0020

Westchester County Recording & Endorsement Page

Submitter Information

Name:	CATIC Title Insurance Company	Phone:	914-418-9847
Address 1:	660 White Plains Road, Suite 570	Fax:	833-329-2228
Address 2:		Email:	nyrecordings@CaticTitle.com
City/State/Zip:	Tarrytown NY 10591	Reference for Submitter:	1615

Document Details

Control Number:	591233364	Document Type:	Deed (DED)
Package ID:	2019050300167001001	Document Page Count:	3
		Total Page Count:	4

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY	
1:	61 GRANDVIEW DEVELOPMENT LLC	1:	JANSEVANRENSBURG FRASER - Individual
2:	- Other	2:	JANSEVANRENSBURG CHEVAUN - Individual

Property

Additional Properties on Continuation page

Street Address:	115 OSBORN ROAD	Tax Designation:	146.17-3-68
City/Town:	RYE CITY	Village:	

Cross-References

Additional Cross-Refs on Continuation page

1:	2:	3:	4:
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Supporting Documents

1: RP-5217	2: TP-584
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Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$190.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$3,212,852.00
Transfer Tax:	\$12,852.00
Mansion Tax:	\$32,128.52
Transfer Tax Number:	12320

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 05/09/2019 at 02:22 PM

Control Number: **591233364**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Randie Paterno, P.C.
16 School Street, Suite D

Rye Brook, NY 10580
Attn: Randie Paterno, Esq.

125 Osborn Road



452850317DED1

Control Number
452850317

Instrument Type
DED



**WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)**

***** DO NOT REMOVE *****

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT: DED - DEED

FEE PAGES: 5 TOTAL PAGES: 5

RECORDING FEES

STATUTORY CHARGE	\$6.00
RECORDING CHARGE	\$15.00
RECORD MGT. FUND	\$19.00
RP 5217	\$75.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$120.00

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
COUNTY TAX	\$0.00
YONKERS TAX	\$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

TRANSFER TAXES

CONSIDERATION	\$850,000.00
TAX PAID	\$3,400.00
TRANSFER TAX #	3924

SERIAL NUMBER:

DWELLING:

RECORDING DATE: 10/24/2005

TIME: 17:06:00

**THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
CITY OF RYE**

WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

Record & Return to:
JOHN P. GARDNER, ESQ.
14 ELM PLACE

RYE, NY 10580

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



542113238DED002T

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Judicial Title Insurance- PICK UP	Phone:	914-381-6700
Address 1:	800 Westchester Avenue	Fax:	914-381-6785
Address 2:		Email:	ltriglia@judicialtitle.com
City/State/Zip:	Rye Brook NY 10573	Reference for Submitter:	J 117549 kn

Document Details

Control Number:	542113238	Document Type:	Deed (DED)
Package ID:	2014073000095001001	Document Page Count:	3
		Total Page Count:	4

Parties

1st PARTY		<input type="checkbox"/> Additional Parties on Continuation page	
1:	PICKUP LESLIE B - Individual	1:	SLATTERY JAMES F - Individual
2:	PICKUP SCOTT D - Individual	2:	SLATTERY ANNE K - Individual

Property

Street Address:	125 OSBORN ROAD	Tax Designation:	146.17-3-67
City/Town:	RYE CITY	Village:	

Cross-References

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$190.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$1,175,000.00
Transfer Tax:	\$4,700.00
Mansion Tax:	\$11,750.00
Transfer Tax Number:	776

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 08/18/2014 at 10:39 AM

Control Number: **542113238**

Witness my hand and official seal

Timothy C. Idroni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

THE JUDICIAL TITLE INSURANCE AGENCY LLC
 800 WESTCHESTER AVENUE
 SUITE S340
 RYE BROOK, NY 10573

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



603653527DED0021

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Future Title Agency, Inc.	Phone:	914-666-7770
Address 1:	Attn: David Chesnut	Fax:	914-666-7767
Address 2:	280 North Bedford Rd., Suite 307	Email:	ftc@futuretitleco.com
City/State/Zip:	Mount Kisco NY 10549	Reference for Submitter:	Slattery Sale

Document Details

Control Number:	603653527	Document Type:	Deed (DED)
Package ID:	2020123000179001001	Document Page Count:	3
		Total Page Count:	4

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY			
1:	SLATTERY JAMES F	- Individual	1:	SIBSON DUNCAN W	- Individual
2:	SLATTERY ANNE K	- Individual	2:	SIBSON KATHERINE W	- Individual

Property

Additional Properties on Continuation page

Street Address:	125 OSBORN ROAD	Tax Designation:	146.17-3-67
City/Town:	RYE CITY	Village:	

Cross-References

Additional Cross-Refs on Continuation page

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
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Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
RPL 291 Notice Fee:	\$10.00
Total Recording Fees Paid:	\$200.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$1,456,026.00
Transfer Tax:	\$5,826.00
Mansion Tax:	\$14,560.26
Transfer Tax Number:	23813

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 01/21/2021 at 12:20 PM

Control Number: **603653527**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

George Grossman, Esq.
 17 Elm Place
 Rye, NY 10580

136 Osborn Road



WESTCHESTER COUNTY CLERK RECORDING PAGE
(THIS PAGE IS PART OF THE INSTRUMENT)

RECEIVED
WESTCHESTER COUNTY CLERK
1985 OCT -1 AM 9 06

TYPE OF INSTRUMENT DEED DATE _____

STATUTORY CHARGE 5 HTGE AMT _____

RECORDING CHARGE 6 EXEMPT YES _____ NO _____

FILING CHARGE 1 REC'D TAX ON ABOVE HTGE _____

CROSS REFERENCE _____ BASIC \$ _____

CERT/RECEIPT _____ ADDITIONAL \$ _____

Subtotal \$ _____

SPECIAL \$ _____

TOTAL \$ _____

SERIAL NO _____

- 02 BEDFORD
- 06 CORTLANDT
- 09 EASTCHESTER
- 11 GREENBURGH
- 12 HARRISON
- 16 LEWISBORD
- 17 MAMARONECK
- 19 MT KISCO
- 20 MT PLEASANT
- 21 MT VERNON
- 22 NEW CASTLE
- 23 NEW ROCHELLE
- 24 NORTH CASTLE
- 26 NORTH SALEM
- 28 OSSINING
- 30 PEEKSKILL
- 31 PELHAM
- 35 POUND RIDGE
- 36 RYE CITY
- 37 RYE TOWN
- 38 SCARSDALE
- 39 SOMERS
- 42 WHITE PLAINS
- 43 YONKERS
- 44 YORKTOWN

CONST 390.00.10

RECEIVED
\$ 129.00
REAL ESTATE
OCT - 1 1985
TRANSFER TAX
WESTCHESTER
COUNTY

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

TERMINAL NO 85274006 TRANSFER FEES NO _____ DATE RET'D _____

65465

00020001 12.00

		<p>SECTION _____</p> <p>BLOCK _____</p> <p>LOT _____</p> <p>VILLAGE _____</p> <p>TOWN _____</p> <p>COUNTY _____</p> <p>RECORD AND RETURN TO:</p>
--	--	--

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

THE PROPERTY AFFECTED BY THIS INSTRUMENT IS SITUATE IN THE

TOWN CITY OF RYE, COUNTY OF WESTCHESTER

N.Y. A TRUE COPY OF THE ORIGINAL DEED RECORDED

IN THE DIVISION OF LAND RECORDS OF THE COUNTY CLERK'S OFFICE OF

WESTCHESTER COUNTY ON OCT. 1, 1985 AT 9:06A M. IN

LIBER 8226 PAGE 205 IN THE BOOK OF Deeds

WITNESS MY HAND AND OFFICIAL SEAL: Andrew J. Spano

ANDREW J. SPANO, COUNTY CLERK



WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

LIBER 9162 PAGE 39

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED
(SEE CODES FOR DEFINITIONS)

THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, N.Y. IN
THE

- 02 TOWN OF BEDFORD
- 06 TOWN OF CORTLANDT
- 09 TOWN OF EASTCHESTER
- 11 TOWN OF GREENBURGH
- 12 TOWN OF HARRISON
- 16 TOWN OF LEWISBORO
- 17 TOWN OF MAMARONECK
- 19 TOWN OF MT. KISCO
- 20 TOWN OF MT. PLEASANT
- 21 CITY OF MT. VERNON
- 22 TOWN OF NEW CASTLE
- 23 CITY OF NEW ROCHELLE
- 24 TOWN OF NORTH CASTLE
- 26 TOWN OF NORTH SALEM
- 28 TOWN OF OSSINING
- 30 CITY OF PEEKSKILL
- 31 TOWN OF PELHAM
- 35 TOWN OF POUND RIDGE
- 36 CITY OF RYE
- 37 TOWN OF RYE
- 38 TOWN OF SCARSDALE
- 39 TOWN OF SOMERS
- 42 CITY OF WHITE PLAINS
- 43 CITY OF YONKERS
- 44 TOWN OF YORKTOWN

LIBER 9162
PAGE 37

STAT'Y CHARGE 5-

REC'ING CHARGE 6-

FILING CHARGE 1-

CROSS REFERENCE _____

CERT/RECEIPT _____

TOTAL
12-

\$ 467,500-
CONSIDERATION

RECEIVED
\$ 1870-

APR 13 1988
REAL ESTATE
TRANSFER TAX
WESTCHESTER COUNTY

MORTG. DATE _____

MORTG. AMOUNT _____

EXEMPT YES _____ NO _____
REC'D TAX ON ABOVE MTGE:

BASIC \$ _____

ADDTL \$ _____

SUBTOTAL \$ _____

SPECIAL \$ _____

TOTAL \$ _____

SERIAL No. _____

DWELLING:
 1-6 UNITS
 OVER 6 UNITS

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

ADDITIONAL COMMENTS

TERMINAL No. 887045016 DATE RETURNED

EXAMINED BY C
WITNESS MY HAND AND OFFICIAL SEAL
Andrew J. Spano
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

THE RECORDING DATE OF THIS INSTRUMENT AS INDICATED ABOVE IS THE OFFICIAL DATE ON WHICH THE WESTCHESTER COUNTY CLERK RECEIVED THIS INSTRUMENT. QUESTIONS REGARDING DELAYS PRIOR TO THIS DATE SHOULD BE ADDRESSED TO YOUR REPRESENTATIVE OR ATTORNEY.

000065B000 04/13/88CPA/DE 12.00
11:55

RECEIVED
WESTCHESTER COUNTY CLERK
APR 13 12 50 PM '88

RECORD AND RETURN

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



591773460DED0016

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Thoroughbred Title Services, LLC	Phone:	914-644-6100
Address 1:	800 Westchester Avenue	Fax:	914-644-6159
Address 2:	Suite S434	Email:	recording@thoroughbredtitleservices.co
City/State/Zip:	Rye Brook NY 10573	Reference for Submitter:	40352 Cognetti

Document Details

Control Number: 591773460	Document Type: Deed (DED)
Package ID: 2019062600219001001	Document Page Count: 3 Total Page Count: 4

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY	
1: OCALLAGHAN ANTHONY J	- Individual	1: COGNETTI MATTHEW M	- Individual
2: OCALLAGHAN PATRICIA J	- Individual	2: CARTER ALISON E	- Individual

Property

Additional Properties on Continuation page

Street Address: 136 OSBORN ROAD	Tax Designation: 146.17-1-3
City/Town: RYE CITY	Village:

Cross-References

Additional Cross-Refs on Continuation page

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
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Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$190.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$1,520,000.00
Transfer Tax:	\$6,080.00
Mansion Tax:	\$15,200.00
Transfer Tax Number:	16298

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 07/31/2019 at 10:28 AM

Control Number: **591773460**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Thoroughbred Title Services, LLC
 800 Westchester Avenue
 Suite S-514
 Rye Brook, NY 10573

1 Coolidge Avenue



K06099281



DED2

36



*** DO NOT REMOVE ***

WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED-DEED FEE PAGE 4 TOTAL PAGES 4
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE 5.25
REC'ING CHARGE 12.00
RECMGT FUND 4.75
EA 5217 25.00
TP-584 5.00
CROSS-REF. 0.00
MISC. _____

MORTGE. DATE _____
MORTGE. AMT _____
EXEMPT YES NO

LIBER: 12397
PAGE: 176

REC'D TAX ON ABOVE MTGE:
YONKERS \$ _____
BASIC \$ _____
ADDITIONAL \$ _____
SUBTOTAL \$ _____
MTA \$ _____
SPECIAL \$ _____
TOTAL PAID \$ _____

THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY,
NEW YORK IN THE:
CITY OF RYE CITY

TOTAL PAID
52.00

\$ 419000.00
CONSIDERATION

SERIAL NO. _____
DWELLING 1-6 NOT 1-6
DUAL TOWN _____
DUAL COUNTY/STATE _____

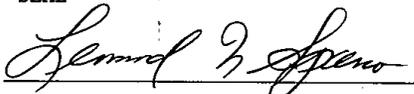
RECEIVED:
TAX AMOUNT \$ 1676.00
TRANSFER TAX# 0003794

HELD _____
NOT HELD _____

TITLE COMPANY NUMBER: 01

EXAMINED BY LLH6 RECORDING DATE 10/08/99

TERMINAL CTRL# 99281K060 TIME 10:34
DATE RETURNED _____

WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

2 Coolidge Avenue



WESTCHESTER COUNTY CLERK RECORDING PAGE
(THIS PAGE IS PART OF THE INSTRUMENT)

LIBER 8429 PAGE 163

TYPE OF INSTRUMENT DED DATE _____
 STATUTORY CHARGE 5 MTGE AMT _____
 RECORDING CHARGE 9 EXEMPT YES ___ NO ___
 FILING CHARGE 1 REC'D TAX ON ABOVE MTGE
 CROSS REFERENCE _____ BASIC \$ _____
 CERT/RECEIPT _____ ADDITIONAL \$ _____
 SUBTOTAL \$ _____
 SPECIAL \$ _____
 TOTAL \$ _____
 SERIAL NO _____

RECEIVED
WESTCHESTER COUNTY CLERK

MAY 8 9 31 AM '86

- 02 BEDFORD
- 06 CORTLANDT
- 09 EASTCHESTER
- 11 GREENBURGH
- 12 HARRISON
- 16 LEWISBORO
- 17 MAMARONECK
- 19 MT KISCO
- 20 MT PLEASANT
- 21 MT VERNON
- 22 NEW CASTLE
- 23 NEW ROCHELLE
- 24 NORTH CASTLE
- 26 NORTH SALEM
- 28 OSSINING
- 30 PEEKSKILL
- 31 PELHAM
- 35 POUND RIDGE
- 36 RYE CITY
- 37 RYE TOWN
- 38 SCARSDALE
- 39 SOMERS
- 42 WHITE PLAINS
- 43 YONKERS
- 44 YORKTOWN

DED BY CR 15-

CNSID 272,500-

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

RECEIVED
\$ 1090-
REAL ESTATE
MAY - 8 1986
TRANSFER TAX
WESTCHESTER
COUNTY

TERMINAL NO _____ TRANSFER FEES NO _____ DATE RET'D _____

86128R036

35093

0446B001 05/08/86CPA

15.00

		SECTION _____ BLOCK _____ LOT _____ VILLAGE _____ TOWN _____ COUNTY _____ RECORD AND RETURN TO: _____
--	--	---

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:
 THE PROPERTY AFFECTED BY THIS INSTRUMENT IS SITUATE IN THE
 TOWN CITY OF RYE, COUNTY OF WESTCHESTER
 N.Y. A TRUE COPY OF THE ORIGINAL DEED RECORDED
 IN THE DIVISION OF LAND RECORDS OF THE COUNTY CLERK'S OFFICE OF
 WESTCHESTER COUNTY ON MAY 8, 1986 AT 9:31A M. IN
LIBER 8429 PAGE 160 IN THE BOOK OF Deeds
 WITNESS MY HAND AND OFFICIAL SEAL: Andrew J. Spano
 ANDREW J. SPANO, COUNTY CLERK



K03097031



DED2



*** DO NOT REMOVE ***

WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED-DEED FEE PAGE 4 TOTAL PAGES 4
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE 5.25
REC'ING CHARGE 12.00
RECMGT FUND 4.75
EA 5217 25.00
TP-584 5.00
CROSS-REF. 0.00
MISC. _____

MORTGE. DATE _____
MORTGE. AMT _____
EXEMPT YES _____ NO _____

LIBER: 11649
PAGE : 245

REC'D TAX ON ABOVE MTGE:
YONKERS \$ _____
BASIC \$ _____
ADDITIONAL \$ _____
SUBTOTAL \$ _____
MTA \$ _____
SPECIAL \$ _____
TOTAL PAID \$ _____

THE PROPERTY IS SITUATED
IN WESTCHESTER COUNTY,
NEW YORK IN THE:
CITY OF RYE CITY

TOTAL PAID
52.00

\$ 400000.00
CONSIDERATION

SERIAL NO. _____
DWELLING 1-6 OVER
_ DUAL TOWN
_ DUAL COUNTY/STATE
_ HELD
_ NOT HELD _____

RECEIVED:
TAX AMOUNT \$ 1600.00
TRANSFER TAX# 0010233

TITLE COMPANY NUMBER: 01

EXAMINED BY LLH6 RECORDING DATE 01/31/97

TERMINAL CTRL# 97031K030 TIME 14:54

DATE RETURNED _____

WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



551133403DED002P

Westchester County Recording & Endorsement Page

Submitter Information

Name: David Chesnut, Future Title Company, Inc. Phone: 914-666-7770
 Address 1: Attn: Mary K. Rasamny Fax: 914-666-7767
 Address 2: 37 West Main Street Email: ftc@futuretitleco.com
 City/State/Zip: Mount Kisco NY 10549 Reference for Submitter: Schwab

Document Details

Control Number: **551133403** Document Type: **Deed (DED)**
 Package ID: 2015042300209001003 Document Page Count: **3** Total Page Count: **4**

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY	
1: SCHWAB JAMES	- Individual	1: HAINES CRAIG	- Individual
2: ELLIS-SCHWAB SUSAN	- Individual	2: HAINES MARY A	- Individual

Property

Additional Properties on Continuation page

Street Address: 2 COOLIDGE AVENUE Tax Designation: 146.17-1-19
 City/Town: RYE CITY Village:

Cross-References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$190.00

Mortgage Taxes

Document Date:
 Mortgage Amount:

Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$2,125,000.00
Transfer Tax:	\$8,500.00
Mansion Tax:	\$21,250.00
Transfer Tax Number:	11888

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 06/01/2015 at 11:45 AM

Control Number: **551133403**

Witness my hand and official seal

Timothy C. Idroni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Patricia S. Rafter, Esq.
 14 Elm Place
 Rye, NY 10580

15 Coolidge Avenue



G03093187



DED2

36



*** DO NOT REMOVE ***

WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED-DEED FEE PAGE 3 TOTAL PAGES 4
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE 5.25
REC'ING CHARGE 9.00
RECMGT FUND 4.75
EA 5217 25.00
TP-584 6.00
CROSS-REF. 0.00
MISC. _____

MORTGE. DATE _____
MORTGE. AMT _____
EXEMPT YES _____ NO _____

LIBER: 10614
PAGE : 255

REC'D TAX ON ABOVE MTGE:
BASIC \$ _____
ADDITIONAL \$ _____

THE PROPERTY IS SITUATED
IN WESTCHESTER COUNTY,
NEW YORK IN THE:
CITY OF RYE CITY

TOTAL
50.00

SUBTOTAL \$ _____
SPECIAL \$ _____
TOTAL \$ _____

\$ 372000.00
CONSIDERATION

SERIAL NO. _____
DWELLING 1-6 OVER

RECEIVED:
TAX AMOUNT \$ 1488.00
TRANSFER TAX# 0012898

DUAL TOWN
 DUAL COUNTY/STATE
 HELD
 NOT HELD

TITLE COMPANY NUMBER: _____

EXAMINED BY TDM1

TERMINAL CTRL# 93187G030

0000488000 07/06/93CPA/DE 50.00
09:58

DATE RETURNED _____

Or

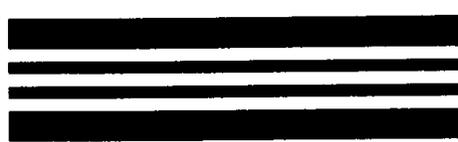
I HEREBY CERTIFY THAT THE ABOVE
INFORMATION FEES AND TAXES ARE
CORRECT
WITNESS MY HAND AND OFFICIAL SEAL

Andrew J. Spano
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

540 Boston Post Road



E00898264



DED2



*** DO NOT REMOVE ***

WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED-DEED FEE PAGE 3 TOTAL PAGES 4
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE	<u>5.25</u>
REC'ING CHARGE	<u>9.00</u>
RECMGT FUND	<u>4.75</u>
EA 5217	<u>25.00</u>
TP-584	<u>5.00</u>
CROSS-REF.	<u>0.00</u>
MISC.	_____

MORTGE. DATE	_____
MORTGE. AMT	_____
EXEMPT	YES ___ NO ___

LIBER: <u>12132</u>
PAGE : <u>77</u>

REC'D TAX ON ABOVE MTGE:	
YONKERS	\$ _____
BASIC	\$ _____
ADDITIONAL	\$ _____
SUBTOTAL	\$ _____
MTA	\$ _____
SPECIAL	\$ _____
TOTAL PAID	\$ _____
	=====

THE PROPERTY IS SITUATED
IN WESTCHESTER COUNTY,
NEW YORK IN THE:
CITY OF RYE CITY

TOTAL PAID
49.00

\$ <u>429000.00</u>
CONSIDERATION

SERIAL NO. _____

DWELLING 1-6 OVER

DUAL TOWN

DUAL COUNTY/STATE

HELD

NOT HELD _____

RECEIVED:

TAX AMOUNT \$ 1716.00

TRANSFER TAX# 0003041

TITLE COMPANY NUMBER: 01

EXAMINED BY LAN1 RECORDING DATE 09/21/98

TERMINAL CTRL# 98264E008 TIME 07:30

DATE RETURNED _____

WITNESS MY HAND AND OFFICIAL SEAL
LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

Handwritten mark

37 Colby Avenue

LIBER 8768 PAGE 12



WESTCHESTER COUNTY CLERK RECORDING PAGE
(THIS PAGE IS PART OF THE INSTRUMENT)

TYPE OF INSTRUMENT DED DATE _____
 STATUTORY CHARGE 5. MTGE AMT _____
 RECORDING CHARGE 6. EXEMPT YES ___ NO ___
 FILING CHARGE 1. REC'D TAX ON ABOVE MTGE _____
 CROSS REFERENCE _____ BASIC \$ _____
 CERT/RECEIPT _____ ADDITIONAL \$ _____
 SUBTOTAL \$ _____
 SPECIAL \$ _____
 TOTAL \$ _____
 SERIAL NO _____

RECEIVED
 WESTCHESTER COUNTY CLERK
 MAR 18 12 54 PM '87

- 02 BEDFORD
- 06 CORTLANDT
- 09 EASTCHESTER
- 11 GREENBURGH
- 12 HARRISON
- 16 LEWISBORO
- 17 MAMARONECK
- 19 MT KISCO
- 20 MT PLEASANT
- 21 MT VERNON
- 22 NEW CASTLE
- 23 NEW ROCHELLE
- 24 NORTH CASTLE
- 26 NORTH SALEM
- 28 OSSINING
- 30 PEEKSKILL
- 31 PELHAM
- 35 POUND RIDGE
- 36 RYE CITY
- 37 RYE TOWN
- 38 SCARSDALE
- 39 SOMERS
- 42 WHITE PLAINS
- 43 YONKERS
- 44 YORKTOWN

CONSID 320,000.00

RECEIVED
 \$ 1,180
 REAL ESTATE
 MAR 18 1987
 TRANSFER TAX
 WESTCHESTER
 COUNTY

ANDREW J. SPANO
 WESTCHESTER COUNTY CLERK

14090

TERMINAL NO 41071083 TRANSFER FEES NO _____ DATE RET'D _____

000070 000 03/10/87CPA/DE 12.00
 13:05

		SECTION _____ BLOCK _____ LOT _____ VILLAGE _____ TOWN _____ COUNTY _____ RECORD AND RETURN TO: _____
--	--	---

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:
 THE PROPERTY AFFECTED BY THIS INSTRUMENT IS SITUATE IN THE
 TOWN CITY OF RYE, COUNTY OF WESTCHESTER
 N.Y. A TRUE COPY OF THE ORIGINAL DEED RECORDED
 IN THE DIVISION OF LAND RECORDS OF THE COUNTY CLERK'S OFFICE OF
 WESTCHESTER COUNTY ON MAR. 18, 1987 AT 12:54P M. IN
 LIBER 8768 PAGE 10 IN THE BOOK OF _____ Deeds
 WITNESS MY HAND AND OFFICIAL SEAL:

 ANDREW J. SPANO, COUNTY CLERK

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



510033539DED001T

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Thoroughbred Title Services, LLC	Phone:	914-644-6100
Address 1:	800 Westchester Avenue	Fax:	914-644-6159
Address 2:	Suite S434	Email:	vesposito@thoroughbredtitleservices.co
City/State/Zip:	Rye Brook NY 10573	Reference for Submitter:	21467

Document Details

Control Number: 510033539	Document Type: Deed (DED)
Package ID: 2011010300196001001	Document Page Count: 3 Total Page Count: 4

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY	
1: VERLIN RICHARD P	- Individual	1: MASCOLO PABLO	- Individual
2: VERLIN MARY	- Individual	2: MASCOLO CAROLA	- Individual

Property

Additional Properties on Continuation page

Street Address: 37 COLBY AVENUE	Tax Designation: 146.18-1-50
City/Town: RYE CITY	Village:

Cross-References

Additional Cross-Refs on Continuation page

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$190.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$1,080,000.00
Transfer Tax:	\$4,320.00
Mansion Tax:	\$10,800.00
Transfer Tax Number:	24526

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 01/25/2011 at 04:51 PM

Control Number: **510033539**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Thoroughbred Title Services, LLC
 800 Westchester Avenue
 Suite S434
 Rye Brook, NY 10573
 Attn: Vincent Esposito

39 Colby Avenue

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



542183069DED0022

Westchester County Recording & Endorsement Page

Submitter Information

Name: Round Hill Title Phone: 203-661-1309
 Address 1: 32 Field Point Road Fax: 914-939-8901
 Address 2: Email: info@roundhilltitle.com
 City/State/Zip: Greenwich CT 06830 Reference for Submitter: BOUTON RH-14-50042

Document Details

Control Number: **542183069** Document Type: **Deed (DED)**
 Package ID: 2014080600035001001 Document Page Count: **3** Total Page Count: **5**

Parties

Additional Parties on Continuation page

1st PARTY **2nd PARTY**
 1: BENNETT ELEANOR G - Individual 1: BOUTON MARY A - Individual
 2: COLLEARY EILEEN - Individual 2: - Individual

Property

Additional Properties on Continuation page

Street Address: 39 COLBY AVENUE Tax Designation: 146.18-1-49
 City/Town: RYE CITY Village:

Cross-References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
 Page Fee: \$20.00
 Cross-Reference Fee: \$0.00
 Mortgage Affidavit Filing Fee: \$0.00
 RP-5217 Filing Fee: \$125.00
 TP-584 Filing Fee: \$5.00
 Total Recording Fees Paid: **\$190.00**

Mortgage Taxes

Document Date:
 Mortgage Amount:
 Basic: \$0.00
 Westchester: \$0.00
 Additional: \$0.00
 MTA: \$0.00
 Special: \$0.00
 Yonkers: \$0.00
 Total Mortgage Tax: **\$0.00**

Transfer Taxes

Consideration: \$1,055,000.00
 Transfer Tax: \$4,220.00
 Mansion Tax: \$10,550.00
 Transfer Tax Number: 626

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 08/14/2014 at 11:03 AM

Control Number: **542183069**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Round Hill Title Agency, Inc.
 32 Field Point Road
 Greenwich, CT 06830

41 Colby Avenue



473470366DED1

Control Number
473470366

Instrument Type
DED



**WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)
*** DO NOT REMOVE *****

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT: DED - DEED
FEE PAGES: 5 TOTAL PAGES: 5

RECORDING FEES

STATUTORY CHARGE	\$6.00
RECORDING CHARGE	\$15.00
RECORD MGT. FUND	\$19.00
RP 5217	\$75.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$120.00

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
COUNTY TAX	\$0.00
YONKERS TAX	\$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

TRANSFER TAXES

CONSIDERATION	\$835,000.00
TAX PAID	\$3,340.00
TRANSFER TAX #	6049

SERIAL NUMBER:
DWELLING:

RECORDING DATE: 12/21/2007
TIME: 10:40:00

THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
CITY OF RYE

WITNESS MY HAND AND OFFICIAL SEAL

TIMOTHY C. IDONI
WESTCHESTER COUNTY CLERK

Record & Return to:
DONALD MAZIN ESQ
1415 BOSTON POST RD

LARCHMONT, NY 10538

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



512083151DED003Q

Westchester County Recording & Endorsement Page

Submitter Information

Name: All New York Title Agency, Inc. (PICK UP BY JAMES) Phone: 914-686-5600
 Address 1: 222 Bloomingdale Road Fax: 914-686-1440
 Address 2: Suite 306 Email: dmcmillan@allnyt.com
 City/State/Zip: White Plains NY 10605 Reference for Submitter: ANY2011-7169 - CL 7/28/2011

Document Details

Control Number: **512083151** Document Type: **Deed (DED)**
 Package ID: 2011072700064001003 Document Page Count: **4** Total Page Count: **5**

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY	
1: 41 COLBY AVE CORP	- Other	1: AMSTUTZ ANDREW F	- Individual
2:		2: AMSTUTZ ELLEN	- Individual

Property

Additional Properties on Continuation page

Street Address: 41 COLBY AVENUE Tax Designation: 146.18-1-48
 City/Town: RYE CITY Village:

Cross-References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$25.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$195.00

Mortgage Taxes

Document Date:
 Mortgage Amount:

Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$1,405,000.00
Transfer Tax:	\$5,620.00
Mansion Tax:	\$14,050.00
Transfer Tax Number:	32307

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 08/10/2011 at 06:28 PM

Control Number: **512083151**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Kelly A. Molloy, Esq.
44 Mitchell Place

Greenwich, CT 06831

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



572293184DED0015

Westchester County Recording & Endorsement Page

Submitter Information

Name:	STATEWIDE ABSTRACT CORP	Phone:	914-683-5900
Address 1:	202 MAMARONECK AVENUE	Fax:	914-683-5905
Address 2:		Email:	MUSAVICH@STATEWIDEA.COM
City/State/Zip:	WHITE PLAINS NY 10601	Reference for Submitter:	sa-116499

Document Details

Control Number:	572293184	Document Type:	Deed (DED)
Package ID:	2017081000283001001	Document Page Count:	3
		Total Page Count:	4

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY			
1:	AMSTUTZ ANDREW F	- Individual	1:	LOBO ROGER R	- Individual
2:	AMSTUTZ ELLEN	- Individual	2:	LOBO ALEXANDRA B	- Individual

Property

Additional Properties on Continuation page

Street Address:	41 COLBY AVE	Tax Designation:	146.18-1-48
City/Town:	RYE CITY	Village:	

Cross-References

Additional Cross-Refs on Continuation page

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$190.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$1,642,000.00
Transfer Tax:	\$6,568.00
Mansion Tax:	\$16,420.00
Transfer Tax Number:	1213

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 08/22/2017 at 10:41 AM

Control Number: **572293184**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

STATEWIDE ABSTRACT CORP
202 MAMARONECK AVENUE

WHITE PLAINS, NY 10601

19 Franklin Avenue



P01193229



DED2

36



*** DO NOT REMOVE ***

WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED-DEED FEE PAGE 3 TOTAL PAGES 4
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE 5.25
REC'ING CHARGE 9.00
RECMGT FUND 4.75
EA 5217 25.00
TP-584 6.00
GROSS-REF. 0.00
MISC. _____

MORTGE. DATE _____
MORTGE. AMT _____
EXEMPT YES _____ NO _____

LIBER: 10648
PAGE : 319

REC'D TAX ON ABOVE MTGE:
BASIC \$ _____
ADDITIONAL \$ _____

THE PROPERTY IS SITUATED
IN WESTCHESTER COUNTY,
NEW YORK IN THE:
CITY OF RYE CITY

SUBTOTAL \$ _____
SPECIAL \$ _____
TOTAL PAID \$ _____

TOTAL PAID
50.00

\$ 350000.00
CONSIDERATION

SERIAL NO. _____
DWELLING 1-6 OVER

RECEIVED:
TAX AMOUNT \$ 1400.00
TRANSFER TAX# 0000707

DUAL TOWN
 DUAL COUNTY/STATE
 HELD
 NOT HELD _____

TITLE COMPANY NUMBER: _____

EXAMINED BY EM1

000045B000 08/17/93CPA/DE 50.00
18:09

TERMINAL CTRL# 93229P011

DATE RETURNED _____

I HEREBY CERTIFY THAT THE ABOVE
INFORMATION FEES AND TAXES ARE
CORRECT
WITNESS MY HAND AND OFFICIAL SEAL

Andrew J. Spano
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

35 Franklin Avenue

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



600283251DED001R

Westchester County Recording & Endorsement Page

Submitter Information

Name:	CATIC Title Insurance Company	Phone:	914-418-9847
Address 1:	660 White Plains Road, Suite 570	Fax:	833-329-2228
Address 2:		Email:	nyrecordings@CaticTitle.com
City/State/Zip:	Tarrytown NY 10591	Reference for Submitter:	2310

Document Details

Control Number:	600283251	Document Type:	Deed (DED)
Package ID:	2020012800121001001	Document Page Count:	4
		Total Page Count:	5

Parties

1st PARTY		<input type="checkbox"/> Additional Parties on Continuation page	
1:	ARMAS THEODORE - Individual	1:	ORR SARAH E G - Individual
2:	ARMAS CAROL - Individual	2:	
		2nd PARTY	

Property

Street Address:	35 FRANKLIN AVE	Tax Designation:	146-18-1-72
City/Town:	RYE CITY	Village:	

Cross-References

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$25.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$195.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$1,600,000.00
Transfer Tax:	\$6,400.00
Mansion Tax:	\$16,000.00
Transfer Tax Number:	9446

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 02/21/2020 at 03:04 PM

Control Number: **600283251**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Becky Sena, Esq.
16 School Street
Suite 101
RYE, NY 10580

45 Franklin Avenue



WESTCHESTER COUNTY CLERK RECORDING PAGE
(THIS PAGE IS PART OF THE INSTRUMENT)

TYPE OF INSTRUMENT DED DATE _____
 STATUTORY CHARGE 5 MTGE AMT _____
 RECORDING CHARGE 6 EXEMPT YES ___ NO ___
 FILING CHARGE 1 REC'D TAX ON ABOVE MTGE
 CROSS REFERENCE _____ BASIC \$ _____
 CERT/RECEIPT _____ ADDITIONAL \$ _____
 SUBTOTAL \$ _____
 SPECIAL \$ _____
 TOTAL \$ _____
 SERIAL NO _____

RECEIVED
WESTCHESTER COUNTY CLERK
AUG 27 1 53 PM '86

- 02 BEDFORD
- 06 CORTLANDT
- 09 EASTCHESTER
- 11 GREENBURGH
- 12 HARRISON
- 16 LEWISBORO
- 17 MAMARONECK
- 19 MT KISCO
- 20 MT PLEASANT
- 21 MT VERNON
- 22 NEW CASTLE
- 23 NEW ROCHELLE
- 24 NORTH CASTLE
- 26 NORTH SALEM
- 28 OSSINING
- 30 PEEKSKILL
- 31 PELHAM
- 35 POUND RIDGE
- 36 RYE CITY
- 37 RYE TOWN
- 38 SCARSDALE
- 39 SOMERS
- 42 WHITE PLAINS
- 43 YONKERS
- 44 YORKTOWN

CONSID 366,000

RECEIVED
\$ 1464
REAL ESTATE
AUG 27 1986
TRANSFER TAX
WESTCHESTER
COUNTY

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

TERMINAL NO 802391053 TRANSFER FEES NO _____ DATE RET'D _____

1612R001_08/27/86CPA 12.00

SECTION	BLOCK	LOT	VILLAGE	TOWN	COUNTY
RECORD AND RETURN TO:					

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:
 THE PROPERTY AFFECTED BY THIS INSTRUMENT IS SITUATE IN THE
 TOWN CITY OF RYE, COUNTY OF WESTCHESTER
 N.Y. A TRUE COPY OF THE ORIGINAL _____ DEED _____ RECORDED
 IN THE DIVISION OF LAND RECORDS OF THE COUNTY CLERK'S OFFICE OF
 WESTCHESTER COUNTY ON AUG. 27, 1986 AT 1:53P M. IN
 LIBER 8537 PAGE 94 IN THE BOOK OF _____ Deeds
 WITNESS MY HAND AND OFFICIAL SEAL: Andrew Spano
 ANDREW J. SPANO, COUNTY CLERK



D7691228

LIBER 10100 PAGE 176



WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

ADDITIONAL COMMENTS

RECORD AND RETURN
TITLE COMPANY NUMBER

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED
(SEE CODES FOR DEFINITIONS)

THE PROPERTY IS SITUATED IN WESTCHESTER COUNTY, N.Y. IN THE

- 02 TOWN OF BEDFORD
- 06 TOWN OF CORTLANDT
- 09 TOWN OF EASTCHESTER
- 11 TOWN OF GREENBURGH
- 12 TOWN OF HARRISON
- 16 TOWN OF LEWISBORO
- 17 TOWN OF MAMARONECK
- 19 TOWN OF MT. KISCO
- 20 TOWN OF MT. PLEASANT
- 21 CITY OF MT. VERNON
- 22 TOWN OF NEW CASTLE
- 23 CITY OF NEW ROCHELLE
- 24 TOWN OF NORTH CASTLE
- 26 TOWN OF NORTH SALEM
- 28 TOWN OF OSSINING
- 30 CITY OF PEEKSKILL
- 31 TOWN OF PELHAM
- 35 TOWN OF POUND RIDGE
- 36 CITY OF RYE
- 37 TOWN OF RYE
- 38 TOWN OF SCARSDALE
- 39 TOWN OF SOMERS
- 42 CITY OF WHITE PLAINS
- 43 CITY OF YONKERS
- 44 TOWN OF YORKTOWN

LIBER 10100
PAGE 176

STAT'Y CHARGE 525
REC'ING CHARGE 12-
REC. MGT. FUND 425
CROSS REFERENCE _____
CERT/RECEIPT 25-

TOTAL
47-

\$ 380,000-
CONSIDERATION

MORTGE. DATE _____
MORTGE. AMOUNT _____
EXEMPT YES _____ NO _____
REC'D TAX ON ABOVE MTGE: _____
BASIC \$ _____
ADDTL \$ _____
SUBTOTAL \$ _____
SPECIAL \$ _____
TOTAL \$ _____

RECEIVED
\$ 1520-
AUG 16 1991
REAL ESTATE
TRANSFER TAX
WESTCHESTER COUNTY

SERIAL No. _____
DWELLING: 1-6 OVER
 DUAL TOWN
 DUAL COUNTY/STATE
 HELD
 NOT HELD

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

RECEIVED
AUG 15 AM 8:58
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

TERMINAL No. 41238 M076 DATE RETURNED

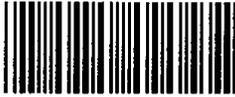
EXAMINED BY AS
WITNESS MY HAND AND OFFICIAL SEAL
Andrew J. Spano
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

000018B000 08/16/91CPA/DE 47.00
09:03

THE RECORDING DATE OF THIS INSTRUMENT AS INDICATED BELOW IS THE OFFICIAL DATE ON WHICH THE WESTCHESTER COUNTY CLERK RECEIVED THIS INSTRUMENT. QUESTIONS REGARDING DELAYS PRIOR TO THIS DATE SHOULD BE ADDRESSED TO YOUR REPRESENTATIVE OR ATTORNEY.



N00798147



DED2



*** DO NOT REMOVE ***

WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED-DEED FEE PAGE 4 TOTAL PAGES 4
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE	<u>5.25</u>
REC'ING CHARGE	<u>12.00</u>
RECMGT FUND	<u>4.75</u>
EA 5217	<u>25.00</u>
TP-584	<u>5.00</u>
CROSS-REF.	<u>0.00</u>
MISC.	_____

MORTGE. DATE	_____
MORTGE. AMT	_____
EXEMPT	YES ___ NO ___

LIBER: 12000
PAGE : 46

REC'D TAX ON ABOVE MTGE:	
YONKERS	\$ _____
BASIC	\$ _____
ADDITIONAL	\$ _____
SUBTOTAL	\$ _____
MTA	\$ _____
SPECIAL	\$ _____
TOTAL PAID	\$ _____

THE PROPERTY IS SITUATED
IN WESTCHESTER COUNTY,
NEW YORK IN THE:
CITY OF RYE CITY

TOTAL PAID
52.00

\$ 550000.00
CONSIDERATION

SERIAL NO. _____

DWELLING 1-6 OVER

 DUAL TOWN
 DUAL COUNTY/STATE

 HELD
 NOT HELD _____

RECEIVED:
TAX AMOUNT \$ 2200.00
TRANSFER TAX# 0014945

TITLE COMPANY NUMBER: 01

EXAMINED BY AMC8 RECORDING DATE 05/27/98

TERMINAL CTRL# 98147N007 TIME 10:00

DATE RETURNED _____

WITNESS MY HAND AND OFFICIAL SEAL

Leonard N. Spano

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



583473237DED0016

Westchester County Recording & Endorsement Page

Submitter Information

Name:	CATIC Title Insurance Company	Phone:	914-418-9847
Address 1:	660 White Plains Road, Suite 570	Fax:	833-329-2228
Address 2:		Email:	jmcspedon@CaticTitle.com
City/State/Zip:	Tarrytown NY 10591	Reference for Submitter:	1446

Document Details

Control Number:	583473237	Document Type:	Deed (DED)
Package ID:	2018121300108001001	Document Page Count:	3
		Total Page Count:	4

Parties

Additional Parties on Continuation page

1st PARTY

2nd PARTY

1:	BUFFONE FREDERICK	- Individual	1:	GRUNDBERG CHRISTOPHER O	- Individual
2:	BUFFONE WENDY W	- Individual	2:	GRUNDBERG JESSICA M	- Individual

Property

Additional Properties on Continuation page

Street Address:	45 FRANKLIN AVENUE	Tax Designation:	146.18-1-70
City/Town:	RYE CITY	Village:	

Cross-References

Additional Cross-Refs on Continuation page

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$190.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$1,995,000.00
Transfer Tax:	\$7,980.00
Mansion Tax:	\$19,950.00
Transfer Tax Number:	6911

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 12/27/2018 at 11:55 AM

Control Number: **583473237**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

CATIC Title Insurance Company
660 White Plains Road, Suite 570

Tarrytown, NY 10591
Attn: Robert Picone

51 Franklin Avenue



R08097288



DED2



*** DO NOT REMOVE ***

WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED-DEED FEE PAGE 4 TOTAL PAGES 4
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE	<u>5.25</u>
REC'ING CHARGE	<u>12.00</u>
RECMGT FUND	<u>4.75</u>
EA 5217	<u>25.00</u>
TP-584	<u>5.00</u>
CROSS-REF.	<u>0.00</u>
MISC.	_____

MORTGE. DATE	_____
MORTGE. AMT	_____
EXEMPT	YES <input type="checkbox"/> NO <input type="checkbox"/>

LIBER: 11838
PAGE : 306

REC'D TAX ON ABOVE MTGE:	
YONKERS	\$ _____
BASIC	\$ _____
ADDITIONAL	\$ _____
SUBTOTAL	\$ _____
MTA	\$ _____
SPECIAL	\$ _____
TOTAL PAID	\$ _____

THE PROPERTY IS SITUATED
IN WESTCHESTER COUNTY,
NEW YORK IN THE:
CITY OF RYE CITY

TOTAL PAID
52.00

\$ 460000.00
CONSIDERATION

SERIAL NO. _____

DWELLING 1-6 OVER

RECEIVED:
TAX AMOUNT \$ 1840.00
TRANSFER TAX# 0004229

DUAL TOWN
 DUAL COUNTY/STATE
 HELD
 NOT HELD _____

TITLE COMPANY NUMBER: 01

EXAMINED BY MAC2 RECORDING DATE 10/15/97

TERMINAL CTRL# 97288R080 TIME 14:50

DATE RETURNED _____

WITNESS MY HAND AND OFFICIAL SEAL



LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

53 Franklin Avenue



402380509DEDK

Control Number 402380509	WIID Number 2000238-000233	Instrument Type DED
------------------------------------	--------------------------------------	-------------------------------



**WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)
*** DO NOT REMOVE *****

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED - DEED
 FEE PAGES 4 TOTAL PAGES 4

RECORDING FEES

STATUTORY CHARGE	\$5.25
RECORDING CHARGE	\$12.00
RECORD MGT. FUND	\$4.75
RP 5217	\$25.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$52.00

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
YONKERS	\$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
SUBTOTAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

TRANSFER TAXES

CONSIDERATION	\$537,500.00
TAX PAID	\$2,150.00
TRANSFER TAX #	2884

SERIAL NUMBER
DWELLING

RECORDING DATE 09/12/2000
 TIME 20:48:00

THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
CITY OF RYE

WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

Record & Return to:
YOUNG & ROSENSTRAUCH LLP
 277 NORTH AVE
 NEW ROCHELLE, NY 10801



432370146DEDJ

Control Number 432370146	WIID Number 2003237-000087	Instrument Type DED
------------------------------------	--------------------------------------	-------------------------------



**WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)**

*** DO NOT REMOVE ***

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED - DEED

FEE PAGES 4

TOTAL PAGES 4

RECORDING FEES

STATUTORY CHARGE	\$6.00
RECORDING CHARGE	\$12.00
RECORD MGT. FUND	\$19.00
RP 5217	\$50.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$92.00

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
YONKERS	\$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
SUBTOTAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

TRANSFER TAXES

CONSIDERATION	\$929,000.00
TAX PAID	\$3,716.00
TRANSFER TAX #	922

SERIAL NUMBER
DWELLING

RECORDING DATE	09/19/2003
TIME	14:22:00

THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
CITY OF RYE

WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

Record & Return to: THOMAS J BIOW ESQ 551 FIFTH AVE FLOOR 28 NEW YORK, NY 10176
--

55 Franklin Avenue



440140409DEDF

Control Number 440140409	WIID Number 2004014-000195	Instrument Type DED
------------------------------------	--------------------------------------	-------------------------------



**WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)**

*** DO NOT REMOVE ***

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED - DEED

FEE PAGES 3

TOTAL PAGES 3

RECORDING FEES

STATUTORY CHARGE	\$6.00
RECORDING CHARGE	\$9.00
RECORD MGT. FUND	\$19.00
RP 5217	\$50.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$89.00

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
YONKERS	\$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
SUBTOTAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

TRANSFER TAXES

CONSIDERATION	\$891,700.00
TAX PAID	\$3,568.00
TRANSFER TAX #	4665

SERIAL NUMBER
DWELLING

RECORDING DATE	02/17/2004
TIME	15:57:00

THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
CITY OF RYE

WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

Record & Return to: JULIA M HEILMAN 399 KNOLLWOOD RD STE 311 WHITE PLAINS, NY 10603

63 Franklin Avenue



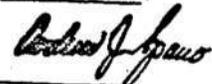
WESTCHESTER COUNTY CLERK
LAND RECORDS DIVISION

RECEIVED
1984 AUG -2 PM 12:00

RECORDING PAGE

Type of Instrument <u>DEED</u>	Recording Tax Rcd. \$ _____	Municipalities
Statutory Charge <u>0</u>	Serial No. _____	(Designate City/Town)
Recording Charge <u>12</u>	ANDREW J. SPANO Clerk of Westchester County	02 BEDFORD
Filing Charge <u>1</u>		06 CORTLANDT
Cross Reference _____		09 EASTCHESTER
Cert./Receipt _____		11 GREENBURGH
Total <u>14</u> 15		12 HARRISON
		16 LEWISBORO
		17 MAMARONECK
		19 MT. KISKO
		20 MT. PLEASANT
		21 MT. VERNON
		22 NEW CASTLE
		23 NEW ROCHELLE
		24 NORTH CASTLE
		26 NORTH SALEM
		28 OSSINING
		30 PEEKSKILL
		31 PELHAM
		35 POUND RIDGE
		36 RYE CITY
		37 RYE TOWN
		33 SCARSDALE
		39 SOMERS
		42 WHITE PLAINS
		43 YONKERS
		44 YORKTOWN
Tax Stamps Attached <input checked="" type="checkbox"/>		
Amount \$ <u>1300.00</u> Date <u>8/2/84</u>		
<div style="border: 1px solid black; padding: 5px; width: fit-content;"> RECEIVED \$ 1,300. REAL ESTATE AUG 2 - 1984 TRANSFER TAX WESTCHESTER COUNTY </div>	<div style="border: 1px solid black; padding: 5px; width: fit-content;"> RECEIVED \$ _____ REAL ESTATE AUG 2 - 1984 TRANSFER TAX WESTCHESTER COUNTY </div>	
Terminal No. <u>84215</u>	Trans. Fees No. <u>46502</u>	Date Ret'd. _____

The foregoing instrument was endorsed for record as follows:
The property affected by this instrument is situate in the Town City
of RYE, County of Westchester, N.Y. A true copy of the
original DEED recorded in the Division of Land Records
of the County Clerk's Office of Westchester County on AUG. 2, 1984 at 12:00 P. M.
Liber 7944 Page 219 in the Book of Deeds

Witness my hand and Official Seal

Andrew J. Spano
County Clerk



P01998182



DED2

36



*** DO NOT REMOVE ***

WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED-DEED FEE PAGE 5 TOTAL PAGES 5
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE 5.25
REC'ING CHARGE 15.00
RECMGT FUND 4.75
EA 5217 25.00
TP-584 5.00
CROSS-REF. 0.00
MISC. _____

MORTGE. DATE _____
MORTGE. AMT _____
EXEMPT YES _____ NO _____

LIBER: 12034
PAGE : 1

REC'D TAX ON ABOVE MTGE:
YONKERS \$ _____
BASIC \$ _____
ADDITIONAL \$ _____
SUBTOTAL \$ _____
MTA \$ _____
SPECIAL \$ _____
TOTAL PAID \$ _____

THE PROPERTY IS SITUATED
IN WESTCHESTER COUNTY,
NEW YORK IN THE:
CITY OF RYE CITY

TOTAL PAID
55.00

\$ 900000.00
CONSIDERATION

SERIAL NO. _____
DWELLING 1-6 OVER
_ DUAL TOWN
_ DUAL COUNTY/STATE
_ HELD
_ NOT HELD _____

RECEIVED:
TAX AMOUNT \$ 3600.00
TRANSFER TAX# 0017242

TITLE COMPANY NUMBER: 01

EXAMINED BY SSG4 RECORDING DATE 07/01/98

TERMINAL CTRL# 98182P019 TIME 10:31

DATE RETURNED _____

WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK



The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



531793123DED001Y

Westchester County Recording & Endorsement Page

Submitter Information

Name:	David Chesnut, Future Title Company, Inc.	Phone:	914-666-7770
Address 1:	Attn: Mary K. Rasamny	Fax:	914-666-7767
Address 2:	37 West Main Street	Email:	ftc@futuretitleco.com
City/State/Zip:	Mount Kisco NY 10549	Reference for Submitter:	Staubi to Osier

Document Details

Control Number:	531793123	Document Type:	Deed (DED)
Package ID:	2013062800072001001	Document Page Count:	4
		Total Page Count:	5

Parties

1st PARTY		<input type="checkbox"/> Additional Parties on Continuation page	
		2nd PARTY	
1:	STAUBI PAUL W - Individual	1:	OSIER JASON D - Individual
2:	STAUBI KARYN - Individual	2:	OSIER ALISSA A - Individual

Property

Street Address:	63 FRANKLIN AVENUE	Tax Designation:	146.18-1-63
City/Town:	RYE CITY	Village:	

Cross-References

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$25.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$195.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$2,165,000.00
Transfer Tax:	\$8,660.00
Mansion Tax:	\$21,650.00
Transfer Tax Number:	23181

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 07/17/2013 at 04:09 PM

Control Number: **531793123**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Patricia S. Rafter, Esq.
14 Elm Place
Rye, NY 10580

131 Old Post Road

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



531983648DED003B

Westchester County Recording & Endorsement Page

Submitter Information

Name: New York Title Phone: 914 835-7100
 Address 1: PICK-UP-PAUL BARAN Fax: 914 835-7466
 Address 2: 550 Mamaroneck Avenue, Suite 401 Email: sharon@nyttitle.com
 City/State/Zip: Harrison NY 10528 Reference for Submitter: NYT16300 HAWKINS

Document Details

Control Number: **531983648** Document Type: **Deed (DED)**
 Package ID: 2013071700319001002 Document Page Count: **3** Total Page Count: **4**

Parties

Additional Parties on Continuation page

1st PARTY 2nd PARTY

1: HAWKINS BYRON - Individual 1: 131 OLD POST RD LLC - Other
 2: 2:

Property

Additional Properties on Continuation page

Street Address: 131 OLD POST ROAD Tax Designation: 146.14-1-41
 City/Town: RYE CITY Village:

Cross-References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
 Page Fee: \$20.00
 Cross-Reference Fee: \$0.00
 Mortgage Affidavit Filing Fee: \$0.00
 RP-5217 Filing Fee: \$125.00
 TP-584 Filing Fee: \$5.00
 Total Recording Fees Paid: **\$190.00**

Mortgage Taxes

Document Date:
 Mortgage Amount:

Basic: \$0.00
 Westchester: \$0.00
 Additional: \$0.00
 MTA: \$0.00
 Special: \$0.00
 Yonkers: \$0.00
 Total Mortgage Tax: **\$0.00**

Transfer Taxes

Consideration: \$989,000.00
 Transfer Tax: \$3,956.00
 Mansion Tax: \$0.00
 Transfer Tax Number: 481

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 08/08/2013 at 03:26 PM

Control Number: **531983648**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

New York Title
 PICK-UP-PAUL BARAN
 550 Mamaroneck Avenue, Suite 401
 Harrison, NY 10528
 Attn: Sharon Trivino

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



551693454DED0046

Westchester County Recording & Endorsement Page

Submitter Information

Name: Good Deed Abstract Corp. Phone: 609-279-0161
 Address 1: 176 Highland Terrace Fax: 866-324-2729
 Address 2: Email: peterbrav@gmail.com
 City/State/Zip: Princeton NJ 08540 Reference for Submitter: 15027-3 (Fidelity National Title Ins Co)

Document Details

Control Number: **551693454** Document Type: **Deed (DED)**
 Package ID: 2015061800212001001 Document Page Count: **3** Total Page Count: **4**

Parties

Additional Parties on Continuation page

1st PARTY

2nd PARTY

1: 131 OLD POST RD LLC - Other 1: HADJIPANAYIS CONSTANTINOS - Individual
 2: PISCIONERIE ANTHONY G - Individual 2: HADJIPANAYIS LORRAINE - Individual

Property

Additional Properties on Continuation page

Street Address: 131 OLD POST ROAD Tax Designation: 146.14-1-41
 City/Town: RYE CITY Village:

Cross-References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
 Page Fee: \$20.00
 Cross-Reference Fee: \$0.00
 Mortgage Affidavit Filing Fee: \$0.00
 RP-5217 Filing Fee: \$125.00
 TP-584 Filing Fee: \$5.00
 Total Recording Fees Paid: **\$190.00**

Mortgage Taxes

Document Date:
 Mortgage Amount:
 Basic: \$0.00
 Westchester: \$0.00
 Additional: \$0.00
 MTA: \$0.00
 Special: \$0.00
 Yonkers: \$0.00
 Total Mortgage Tax: **\$0.00**

Transfer Taxes

Consideration: \$2,800,000.00
 Transfer Tax: \$11,200.00
 Mansion Tax: \$28,000.00
 Transfer Tax Number: 443

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 08/10/2015 at 01:38 PM

Control Number: **551693454**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Michael Liss, Esq.
 415 Madison Avenue, 15th Floor
 New York, NY 10017

151 Old Post Road

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



603223524DED001R

Westchester County Recording & Endorsement Page

Submitter Information

Name:	CATIC Title Insurance Company	Phone:	914-418-9847
Address 1:	660 White Plains Road, Suite 570	Fax:	833-329-2228
Address 2:		Email:	nyrecordings@CaticTitle.com
City/State/Zip:	Tarrytown NY 10591	Reference for Submitter:	2915

Document Details

Control Number:	603223524	Document Type:	Deed (DED)
Package ID:	2020111700278001001	Document Page Count:	4
		Total Page Count:	5

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY	
1:	HOWARD JENNIFER W - Individual	1:	JORNA JESSICA - Individual
2:		2:	JORNA AERNOUT - Individual

Property

Additional Properties on Continuation page

Street Address:	151 OLD POST ROAD	Tax Designation:	146.14-1-43.1
City/Town:	RYE CITY	Village:	

Cross-References

Additional Cross-Refs on Continuation page

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$25.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
RPL 291 Notice Fee:	\$10.00
Total Recording Fees Paid:	\$205.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$2,900,000.00
Transfer Tax:	\$4,512.00
Mansion Tax:	\$29,000.00
Transfer Tax Number:	21680

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 12/09/2020 at 11:14 AM

Control Number: **603223524**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Randie P. Paterno, P.C.
16 School Street
Suite 101
Rye, NY 10580
Attn: Frances Sena

1 Packard Court



T01384115

LIBER 7915 PAGE 759

Standard N.Y.B.T.P. Form 8002* 8-82-55M - Bargain and Sale Deed, with Covenant against Grantor's Acts--Individual or Corporation. (single sheet)

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT--THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the 15th day of March, nineteen hundred and eighty-four, BETWEEN K.P. B. SOLAR HOMES, LTD., a domestic corporation having its principal office at 74 Davenport Avenue, Port Chester, New York 10573,

party of the first part, and ASIKADU R. VISWANATHAN and SHYAMALA VISWANATHAN, his wife, residing at 8 Red Oak Drive, Rye, New York 10580,

party of the second part, 285,000.00
WITNESSETH, that the party of the first part, in consideration of ~~285,000.00~~ and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the City of Rye, County of Westchester and State of New York, known and designated as Lot No. 3 on a certain map entitled, Subdivision Plan property of KPB Solar Homes, Ltd., City of Rye, Westchester County, New York", dated June 22 1982, and filed in the Westchester County Clerk's Office, Division of Land Records, on September 21, 1982, as Map No. 21024.

TOGETHER with the right to install and maintain a drain in a 10' wide drain easement running from Lot 3 and under and across Lots 9, 8 and 7, so known and designated on said Map No. 21024, at a distance of approximately 20 to 40 feet easterly from the turnaround of Packard Court as shown on said Map No. 21024, to the 10' Drain Easement shown on Lot 7 on said Map, and continuing along said Drain Easement through Lots 7, 8 and 9 as shown on said Map No. 21024, for the benefit of the owners and/or occupants of Lot 3 on said Map, and no structure or building shall be erected over the said easement area, and in the event of any excavation therein, the person responsible for the excavation shall reasonably restore the premises to the same condition existing prior to the excavation.

This conveyance is made in the ordinary course of business of the party of the first part.

SUBJECT to a first mortgage between K.P.B. Solar Homes, Ltd. and Sound Federal Savings and Loan Assn. in the principal sum of \$120,000.00 which party of the second part assumes by the acceptance of this deed and which mortgage was recorded in the Office of the Clerk of the County of Westchester, Division of Land Records, in Liber 8439 of mortgages, page 255.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.
AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.
The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

RECEIVED
660
REAL ESTATE
APR 24 1984
TRANSFER TAX
WESTCHESTER
COUNTY



K.P.B. SOLAR HOMES, LTD.

By Rocco A. Polistina
Rocco A. Polistina

TAX MAP DESIGNATION ATTACHED \$ 660
APR 24 1984



W06791324



WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

LIBER 10159 PAGE 90

ADDITIONAL COMMENTS

RECORD AND RETURN
TITLE COMPANY NUMBER

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT D&D
(SEE CODES FOR DEFINITIONS)

THE PROPERTY IS SITUATED IN WESTCHESTER COUNTY, N.Y. IN THE

- 02 TOWN OF BEDFORD
- 06 TOWN OF CORTLANDT
- 09 TOWN OF EASTCHESTER
- 11 TOWN OF GREENBURGH
- 12 TOWN OF HARRISON
- 16 TOWN OF LEWISBORO
- 17 TOWN OF MAMARONECK
- 19 TOWN OF MT. KISCO
- 20 TOWN OF MT. PLEASANT
- 21 CITY OF MT. VERNON
- 22 TOWN OF NEW CASTLE
- 23 CITY OF NEW ROCHELLE
- 24 TOWN OF NORTH CASTLE
- 26 TOWN OF NORTH SALEM
- 28 TOWN OF OSSINING
- 30 CITY OF PEEKSKILL
- 31 TOWN OF PELHAM
- 35 TOWN OF POUND RIDGE
- 36 CITY OF RYE
- 37 TOWN OF RYE
- 38 TOWN OF SCARSDALE
- 39 TOWN OF SOMERS
- 42 CITY OF WHITE PLAINS
- 43 CITY OF YONKERS
- 44 TOWN OF YORKTOWN

LIBER 10159
PAGE 90

STAT'Y CHARGE 5⁰⁰

REC'ING CHARGE 15

REC. MGT. FUND 4²⁵

CROSS REFERENCE

CERT/RECEIPT 25

TOTAL
50

\$ 515,000.-
CONSIDERATION

RECEIVED
\$ 2060-

NOV 20 1991

REAL ESTATE
TRANSFER TAX
WESTCHESTER COUNTY

667

MORTGGE. DATE

MORTGGE. AMOUNT

EXEMPT YES NO
REC'D TAX ON ABOVE MIGE:

BASIC \$

ADDTL \$

SUBTOTAL \$

SPECIAL \$

TOTAL \$

SERIAL No.

DWELLING: 1-6 OVER

DUAL TOWN
 DUAL COUNTY/STATE

HELD
 NOT HELD

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

TERMINAL No. 9130460067 DATE RETURNED

EXAMINED BY VF
WITNESS MY HAND AND OFFICIAL SEAL

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

0000158000 11/20/91CPA/DE
09:35

50.00

THE RECORDING DATE OF THIS INSTRUMENT AS INDICATED BELOW IS THE OFFICIAL DATE ON WHICH THE WESTCHESTER COUNTY CLERK RECEIVED THIS INSTRUMENT. QUESTIONS REGARDING DELAYS PRIOR TO THIS DATE SHOULD BE ADDRESSED TO YOUR REPRESENTATIVE OR ATTORNEY.

RECEIVED
91 NOV 20 AM 9:22
WESTCHESTER COUNTY CLERK



E22899307



DED2

36



*** DO NOT REMOVE ***

WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED-DEED FEE PAGE 4 TOTAL PAGES 4
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE	<u>5.25</u>
REC'ING CHARGE	<u>12.00</u>
RECMGT FUND	<u>4.75</u>
EA 5217	<u>25.00</u>
TP-584	<u>5.00</u>
CROSS-REF.	<u>0.00</u>
MISC.	<u> </u>

MORTGE. DATE	<u> </u>
MORTGE. AMT	<u> </u>
EXEMPT YES	<u>NO</u>

LIBER:	<u>12422</u>
PAGE:	<u>105</u>

REC'D TAX ON ABOVE MTGE:	THE PROPERTY IS SITUATED IN
YONKERS \$	WESTCHESTER COUNTY,
BASIC \$	NEW YORK IN THE:
ADDITIONAL \$	CITY OF RYE CITY
SUBTOTAL \$	
MTA \$	
SPECIAL \$	
TOTAL PAID \$	

TOTAL PAID
52.00

\$ <u>765000.00</u>
CONSIDERATION

SERIAL NO.

DWELLING 1-6 NOT 1-6

 DUAL TOWN

 DUAL COUNTY/STATE

RECEIVED:

TAX AMOUNT \$ 3060.00

TRANSFER TAX# 0005449

 HELD

 NOT HELD

TITLE COMPANY NUMBER: 01

EXAMINED BY LAN1 RECORDING DATE 11/03/99

TERMINAL CTRL# 99307E228 TIME 09:36

DATE RETURNED

WITNESS MY HAND AND OFFICIAL SEAL
LEONARD N. SPANO
WESTCHESTER COUNTY CLERK



413370418DEDK

Control Number 413370418	WIID Number 2001337-000235	Instrument Type DED
------------------------------------	--------------------------------------	-------------------------------



**WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)
*** DO NOT REMOVE *****

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED - DEED
 FEE PAGES 4 TOTAL PAGES 4

RECORDING FEES

STATUTORY CHARGE	\$5.25
RECORDING CHARGE	\$12.00
RECORD MGT. FUND	\$4.75
RP 5217	\$25.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$52.00

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
YONKERS	\$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
SUBTOTAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

TRANSFER TAXES

CONSIDERATION	\$1,199,000.00
TAX PAID	\$16,786.00
TRANSFER TAX #	6920

RECORDING DATE 12/19/2001
TIME 17:06:00

SERIAL NUMBER
DWELLING

THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
CITY OF RYE

WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

Record & Return to:
GRANT, WEINHAUS, LLP.
910 E. BOSTON POST RD.
MAMARONECK, NY 10543

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



522713107DED001S

Westchester County Recording & Endorsement Page

Submitter Information

Name:	New York Title	Phone:	914 835-7100
Address 1:	PICK-UP-PAUL BARAN	Fax:	914 835-7466
Address 2:	550 Mamaroneck Avenue, Suite 401	Email:	sharon@nytitle.com
City/State/Zip:	Harrison NY 10528	Reference for Submitter:	NYT15823 JOHNSON

Document Details

Control Number:	522713107	Document Type:	Deed (DED)
Package ID:	2012092700062001001	Document Page Count:	3
		Total Page Count:	4

Parties

<input type="checkbox"/> Additional Parties on Continuation page	
1st PARTY	2nd PARTY
1: JOHNSON KEVIN F - Individual	1: FRANCISCO JOSE H - Individual
2: JOHNSON LISA P - Individual	2: FRANCISCO ANA B - Individual

Property

Street Address: 1 PACKARD COURT	<input type="checkbox"/> Additional Properties on Continuation page
City/Town: RYE CITY	Tax Designation: 146.14-1-43.2
	Village:

Cross-References

<input type="checkbox"/> Additional Cross-Refs on Continuation page			
1:	2:	3:	4:

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$190.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$1,490,000.00
Transfer Tax:	\$5,960.00
Mansion Tax:	\$14,900.00
Transfer Tax Number:	2734

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 10/10/2012 at 04:20 PM

Control Number: **522713107**

Witness my hand and official seal

Timothy C. Idroni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

New York Title
PICK-UP-PAUL BARAN
550 Mamaroneck Avenue, Suite 401
Harrison, NY 10528
Attn: Sharon Trivino

2 Packard Court

LIBER 8635 PAGE 224



WESTCHESTER COUNTY CLERK RECORDING PAGE
(THIS PAGE IS PART OF THE INSTRUMENT)

TYPE OF INSTRUMENT DEED DATE _____
 STATUTORY CHARGE 5 MTGE AMT _____
 RECORDING CHARGE 5 EXEMPT YES _____ NO _____
 FILING CHARGE 1 REC'D TAX ON ABOVE MTGE _____
 CROSS REFERENCE _____ BASIC \$ _____
 CERT/RECEIPT _____ ADDITIONAL \$ _____
 SUBTOTAL \$ _____
 SPECIAL \$ _____
 TOTAL \$ _____
 SERIAL NO _____

RECEIVED
WESTCHESTER COUNTY CLERK
DEC 1 9 35 AM '86

- 02 BEDFORD
- 06 CORTLANDT
- 09 EASTCHESTER
- 11 GREENBURGH
- 12 HARRISON
- 16 LEWISBORO
- 17 MAMARONECK
- 19 MT KISCO
- 20 MT PLEASANT
- 21 MT VERNON
- 22 NEW CASTLE
- 23 NEW ROCHELLE
- 24 NORTH CASTLE
- 26 NORTH SALEM
- 28 OSSINING
- 30 PEEKSKILL
- 31 PELHAM
- 35 POUND RIDGE
- 36 RYE CITY
- 37 RYE TOWN
- 38 SCARSDALE
- 39 SOMERS
- 42 WHITE PLAINS
- 43 YONKERS
- 44 YORKTOWN

CONSID 585,000

RECEIVED
 \$ 2340
 REAL ESTATE
 DEC - 1 1986
 TRANSFER TAX
 WESTCHESTER
 COUNTY

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

TERMINAL NO 10225 1/27 TRANSFER FEES NO _____ DATE RET'D _____

0025B001 12/01/86CPA 12.00

		SECTION _____ BLOCK _____ LOT _____ VILLAGE _____ TOWN _____ COUNTY _____ RECORD AND RETURN TO: _____
--	--	---

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:
 THE PROPERTY AFFECTED BY THIS INSTRUMENT IS SITUATE IN THE
 TOWN CITY OF RYE, COUNTY OF WESTCHESTER
 N.Y. A TRUE COPY OF THE ORIGINAL DEED RECORDED
 IN THE DIVISION OF LAND RECORDS OF THE COUNTY CLERK'S OFFICE OF
 WESTCHESTER COUNTY ON DEC. 1, 1986 AT 9:35A M. IN
 LIBER 8635 PAGE 222 IN THE BOOK OF _____ Deeds
 WITNESS MY HAND AND OFFICIAL SEAL: Andrew J. Spano
 ANDREW J. SPANO, COUNTY CLERK

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



561803323DED003V

Westchester County Recording & Endorsement Page

Submitter Information

Name: Maven Abstract/Sarah LaBar Phone: 845-467-9069
 Address 1: 252 Greenwich Avenue Fax: 845-360-5541
 Address 2: Email: sarah.labar@gmail.com
 City/State/Zip: Goshen NY 10924 Reference for Submitter: TA16-10-221

Document Details

Control Number: **561803323** Document Type: **Deed (DED)**
 Package ID: 2016062800130001001 Document Page Count: **3** Total Page Count: **4**

Parties

Additional Parties on Continuation page

1st PARTY **2nd PARTY**
 1: KASHYAP PRADEEP - Individual 1: SPINOLA PATRICK J Jr - Individual
 2: KASHYAP REENA - Individual 2: SPINOLA KRISTINA L - Individual

Property

Additional Properties on Continuation page

Street Address: **2 PACKARD COURT** Tax Designation: 146.14-1-43.3
 City/Town: RYE CITY Village:

Cross-References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
 Page Fee: \$20.00
 Cross-Reference Fee: \$0.00
 Mortgage Affidavit Filing Fee: \$0.00
 RP-5217 Filing Fee: \$125.00
 TP-584 Filing Fee: \$5.00
 Total Recording Fees Paid: **\$190.00**

Mortgage Taxes

Document Date:
 Mortgage Amount:
 Basic: \$0.00
 Westchester: \$0.00
 Additional: \$0.00
 MTA: \$0.00
 Special: \$0.00
 Yonkers: \$0.00
 Total Mortgage Tax: **\$0.00**

Transfer Taxes

Consideration: **\$2,175,000.00**
 Transfer Tax: \$8,700.00
 Mansion Tax: \$21,750.00
 Transfer Tax Number: 15611

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 07/13/2016 at 03:36 PM

Control Number: **561803323**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

JANICE E. LEVINE, ESQ.
 WILLKIE FARR & GALLAGHER LLP
 787 SEVENTH AVENUE
 NEW YORK, NY 10019

3 Packard Court

LIBR 8664 PAGE 252



WESTCHESTER COUNTY CLERK RECORDING PAGE
(THIS PAGE IS PART OF THE INSTRUMENT)

TYPE OF INSTRUMENT DEED DATE _____
 STATUTORY CHARGE 5- MTGE ANT _____
 RECORDING CHARGE 9- EXEMPT YES _____ NO _____
 FILING CHARGE 1- REC'D TAX ON ABOVE MTGE _____
 CROSS REFERENCE _____ BASIC \$ _____
 CERT/RECEIPT _____ ADDITIONAL \$ _____
 SUBTOTAL \$ _____
 SPECIAL \$ _____
 TOTAL \$ _____
 SERIAL NO _____

DEC 18 6 25 AM '86

- 02 BEDFORD
- 06 CORTLANDT
- 09 EASTCHESTER
- 11 GREENBURGH
- 12 HARRISON
- 16 LEWISBORO
- 17 MAMARONECK
- 19 MT KISCO
- 20 MT PLEASANT
- 21 MT VERNON
- 22 NEW CASTLE
- 23 NEW ROCHELLE
- 24 NORTH CASTLE
- 26 NORTH SALEM
- 28 OSSINING
- 30 PEEKSKILL
- 31 PELHAM
- 35 POUND RIDGE
- 36 RYE CITY
- 37 RYE TOWN
- 38 SCARSDALE
- 39 SOMERS
- 42 WHITE PLAINS
- 43 YONKERS
- 44 YORKTOWN

CONSID 605,000.00

RECEIVED
 \$ 2420.00
 REAL ESTATE
 DEC 18 1986
 TRANSFER TAX
 WESTCHESTER
 COUNTY

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

TERMINAL NO 813525059 TRANSFER FEES NO _____ DATE RET'D _____

13478001 12/18/86 15.00

SECTION	BLOCK	LOT	VILLAGE	TOWN	COUNTY
RECORD AND RETURN TO:					

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:
 THE PROPERTY AFFECTED BY THIS INSTRUMENT IS SITUATE IN THE
 TOWN CITY OF RYE, COUNTY OF WESTCHESTER
 N.Y. A TRUE COPY OF THE ORIGINAL _____ DEED _____ RECORDED
 IN THE DIVISION OF LAND RECORDS OF THE COUNTY CLERK'S OFFICE OF
 WESTCHESTER COUNTY ON DEC. 18, 1986 AT 8:16A M. IN
 LIBER 8664 PAGE 249 IN THE BOOK OF _____ Deeds
 WITNESS MY HAND AND OFFICIAL SEAL: Andrew J. Spano
 ANDREW J. SPANO, COUNTY CLERK



WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

RECEIVED
WESTCHESTER COUNTY CLERK
NOV 17 9 43 AM '87

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED

RECORDED IN THE BOOK OF DEEDS MORTGAGE MISC.

LIBER 9029

PAGE 344

DATE NOV 17 1987

TIME 8:43 AM

STATUTORY CHARGE 5-

RECORDING CHARGE 6-

FILING CHARGE 1-

CROSS REFERENCE _____

CERT/RECEIPT _____

EXAMINER MH TOTAL 12-

660,000.00

CONSIDERATION

RECEIVED
\$ 2640.00
REAL ESTATE
NOV 17 1987
TRANSFER TAX
WESTCHESTER
COUNTY

6042

DATE _____

MORTG. AMOUNT _____

EXEMPT YES _____ NO _____

REC'D TAX ON ABOVE MTGE:

RASIC \$ _____

ADDTL \$ _____

SUBTOTAL \$ _____

SPECIAL \$ _____

TOTAL \$ _____

SERIAL No. _____

DWELLING:

1-6 UNITS
 OVER 6 UNITS

THE PROPERTY IS SITUATED IN
WESTCHESTER, N.Y. IN THE
TOWN OF CITY OF

- 02 BEDFORD
- 06 CORTLANDT
- 09 EASTCHESTER
- 11 GREENBURGH
- 12 HARRISON
- 16 LEWISBORO
- 17 MAMARONECK
- 19 MT. KISCO
- 20 MT. PLEASANT
- 21 MT. VERNON
- 22 NEW CASTLE
- 23 NEW ROCHELLE
- 24 NORTH CASTLE
- 26 NORTH SALEM
- 28 OSSINING
- 30 PEEKSKILL
- 31 PELHAM
- 35 POUND RIDGE
- 36 RYE CITY
- 37 RYE TOWN
- 38 SCARSDALE
- 39 SOMERS
- 42 WHITE PLAINS
- 43 YONKERS
- 44 YORKTOWN

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

ADDITIONAL COMMENTS

TERMINAL No. DATE RETURNED

03219084

WITNESS MY HAND AND OFFICIAL SEAL
Andrew J. Spano
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

000002B000 11/17/87CPA/DE 12.00
09:02

RECORDING DATE OF THIS INSTRUMENT AS INDICATED ABOVE IS THE OFFICIAL DATE ON WHICH THE WESTCHESTER COUNTY CLERK RECEIVED THIS INSTRUMENT FOR RECORDING. QUESTIONS REGARDING DELAYS PRIOR TO THIS DATE SHOULD BE ADDRESSED TO YOUR REPRESENTATIVE OR ATTORNEY.

[Empty box for recording date]



H02396172



DED2



*** DO NOT REMOVE ***

WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED-DEED FEE PAGE 4 TOTAL PAGES 4
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE 5.25
REC'ING CHARGE 12.00
RECMGT FUND 4.75
EA 5217 25.00
TP-584 6.00
CROSS-REF. 0.00
MISC. _____

MORTGE. DATE _____
MORTGE. AMT _____
EXEMPT YES _____ NO _____

LIBER: 11452
PAGE : 327

REC'D TAX ON ABOVE MTGE:
YONKERS \$ _____
BASIC \$ _____
ADDITIONAL \$ _____
SUBTOTAL \$ _____
MTA \$ _____
SPECIAL \$ _____
TOTAL PAID \$ _____

THE PROPERTY IS SITUATED
IN WESTCHESTER COUNTY,
NEW YORK IN THE:
CITY OF RYE CITY

TOTAL PAID
53.00

\$ 765000.00
CONSIDERATION

SERIAL NO. _____

DWELLING 1-6 OVER

RECEIVED:
TAX AMOUNT \$ 3060.00
TRANSFER TAX# 0014876

DUAL TOWN
 DUAL COUNTY/STATE
 HELD
 NOT HELD _____

TITLE COMPANY NUMBER: 01

EXAMINED BY PJC1 RECORDING DATE 06/20/96

TERMINAL CTRL# 96172H023 TIME 16:08

DATE RETURNED _____

WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

Jm.

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



541343477DED0012

Westchester County Recording & Endorsement Page

Submitter Information

Name: TITLEPRO AGENCY, LLC (PICK UP BY TITLEPRO) Phone: 914-253-0822
 Address 1: 2900 WESTCHESTER AVENUE Fax: 914-253-0823
 Address 2: SUITE 100 Email: SIMONEM@TITLEPRO.NET
 City/State/Zip: PURCHASE NY 10577 Reference for Submitter: TP126596

Document Details

Control Number: **541343477** Document Type: **Deed (DED)**
 Package ID: 2014051400210001001 Document Page Count: **3** Total Page Count: **4**

Parties

Additional Parties on Continuation page

1st PARTY **2nd PARTY**
 1: NECTOW STUART - Individual 1: HABECK ROBERT - Individual
 2: NECTOW PATRICIA - Individual 2: HABECK AMY - Individual

Property

Additional Properties on Continuation page

Street Address: 3 PACKARD COURT Tax Designation: 146.14-1-42
 City/Town: RYE CITY Village:

Cross-References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
 Page Fee: \$20.00
 Cross-Reference Fee: \$0.00
 Mortgage Affidavit Filing Fee: \$0.00
 RP-5217 Filing Fee: \$125.00
 TP-584 Filing Fee: \$5.00
 Total Recording Fees Paid: **\$190.00**

Mortgage Taxes

Document Date:
 Mortgage Amount:
 Basic: \$0.00
 Westchester: \$0.00
 Additional: \$0.00
 MTA: \$0.00
 Special: \$0.00
 Yonkers: \$0.00
 Total Mortgage Tax: **\$0.00**

Transfer Taxes

Consideration: \$2,085,000.00
 Transfer Tax: \$8,340.00
 Mansion Tax: \$20,850.00
 Transfer Tax Number: 12060

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 06/12/2014 at 10:40 AM

Control Number: **541343477**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

TITLEPRO AGENCY, LLC
 2900 WESTCHESTER AVENUE
 SUITE 100
 PURCHASE, NY 10577

4 Packard Court



402370256DEDI

Control Number 402370256	WIID Number 2000237-000109	Instrument Type DED
------------------------------------	--------------------------------------	-------------------------------



**WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)
*** DO NOT REMOVE *****

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED - DEED
 FEE PAGES 4 TOTAL PAGES 4

RECORDING FEES

STATUTORY CHARGE	\$5.25
RECORDING CHARGE	\$12.00
RECORD MGT. FUND	\$4.75
RP 5217	\$25.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$52.00

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
YONKERS	\$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
SUBTOTAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

TRANSFER TAXES

CONSIDERATION	\$890,000.00
TAX PAID	\$3,560.00
TRANSFER TAX #	2733

SERIAL NUMBER
DWELLING

RECORDING DATE	09/08/2000
TIME	11:48:00

THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
CITY OF RYE

WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

Record & Return to: STEVEN SEGALL 200 EAST POST ROAD WHITE PLAINS, NY 10601
--

6 Packard Court



Q01984040

BOOK 7893 PAGE 265

Standard N.Y.R.T.U. Form 8002* 8-82-25M—Herain and Sale Deed, with Covenant against Grantor's Act—Individual or Corporation. (single sheet)
CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT—THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

TT
880.05

THIS INDENTURE, made the 26th day of January, nineteen hundred and eighty-four, BETWEEN K.P.B. SOLAR HOMES, LTD., a domestic corporation having its principal office at 74 Davenport Avenue, Port Chester, New York 10573,

party of the first part, and ROBERT W. PRATT, JR. and ANN P. PRATT, his wife, residing at 29 Woodhaven Drive, Simsbury, Connecticut 06070,

party of the second part, **WITNESSETH**, that the party of the first part, in consideration of \$340,000.00 and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the City of Rye, County of Westchester and State of New York, known and designated as Lot No. 6 on a certain map entitled, "Subdivision Plan property of KPB Solar Homes, Ltd., City of Rye, Westchester County, New York", dated June 22, 1982, and filed in the Westchester County Clerk's Office, Division of Land Records, on September 21, 1982, as Map No. 21024.

SUBJECT TO AND TOGETHER WITH an easement of a 10' wide drain easement running along and adjoining the rear property lines of Lots 5 and 6 on said Map No. 21024 and continuing along the rear property line of Lot 7 on said Map No. 21024 for a distance of approximately 80 feet and thence continuing through Lot 7 to the nearest point of the 10' wide Drain Easement as shown on said Map No. 21024, and continuing along said Drain Easement through Lots 7, 8 and 9 as shown on said Map No. 21024, for the benefit of the owners and/or occupants of Lots 4, 5 and 6 on said Map No. 21024; and no structure or building shall be erected over the easement area, and in the event of any excavation therein, the person responsible for the excavation shall reasonably restore the premises to the same condition existing prior to any excavation.

This conveyance is made in the ordinary course of business of the party of the first part.

FEB - 9 1984

880.00

TAX STAMPS ATTACHED \$

TAX MAP DESIGNATION

Dist.
Sec.
Bl.
Lot(s):

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid. AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

K.P.B. SOLAR HOMES, LTD.
By Rocco A. Polistina
Rocco A. Polistina, President

RECEIVED
880.05
REAL ESTATE
FEB 9 - 1984
TRANSFER TAX
WESTCHESTER COUNTY





470040092DED1

Control Number
470040092

Instrument Type
DED



**WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)**

***** DO NOT REMOVE *****

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT: DED - DEED

FEE PAGES: 5 TOTAL PAGES: 5

RECORDING FEES

STATUTORY CHARGE	\$6.00
RECORDING CHARGE	\$15.00
RECORD MGT. FUND	\$19.00
RP 5217	\$75.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$120.00

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
COUNTY TAX	\$0.00
YONKERS TAX	\$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

TRANSFER TAXES

CONSIDERATION	\$1,580,000.00
TAX PAID	\$22,120.00
TRANSFER TAX #	9659

SERIAL NUMBER:

DWELLING:

RECORDING DATE: 1/30/2007

TIME: 10:12:00

**THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
CITY OF RYE**

WITNESS MY HAND AND OFFICIAL SEAL

**TIMOTHY C. IDONI
WESTCHESTER COUNTY CLERK**

Record & Return to:
**ERIC & CARRIE NAGEL
6 PACKARD COURT**

RYE, NY 10580

12 Packard Court



WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOREGOING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED
(SEE CODES FOR DEFINITIONS)

- THE PROPERTY IS SITUATED IN WESTCHESTER COUNTY, N.Y. IN THE
- 02 TOWN OF BEDFORD
 - 06 TOWN OF CORTLANDT
 - 09 TOWN OF EASTCHESTER
 - 11 TOWN OF GREENBURGH
 - 12 TOWN OF HARRISON
 - 16 TOWN OF LEWISBORO
 - 17 TOWN OF MAMARONECK
 - 19 TOWN OF MT. KISCO
 - 20 TOWN OF MT. PLEASANT
 - 21 CITY OF MT. VERNON
 - 22 TOWN OF NEW CASTLE
 - 23 CITY OF NEW ROCHELLE
 - 24 TOWN OF NORTH CASTLE
 - 26 TOWN OF NORTH SALEM
 - 28 TOWN OF OSSINING
 - 30 CITY OF PEEKSKILL
 - 31 TOWN OF PELHAM
 - 35 TOWN OF POUND RIDGE
 - 36 CITY OF RYE
 - 37 TOWN OF RYE
 - 38 TOWN OF SCARSDALE
 - 39 TOWN OF SOMERS
 - 42 CITY OF WHITE PLAINS
 - 43 CITY OF YONKERS
 - 44 TOWN OF YORKTOWN

LIBER 9434
PAGE 31

STAT'Y CHARGE 5-
REC'ING CHARGE 95
FILING CHARGE 5-
CROSS REFERENCE _____
CERT/RECEIPT _____

TOTAL 15-
\$ 730,000
CONSIDERATION

RECEIVED
\$ 2920-
JAN 26 1989

REAL ESTATE
TRANSFER TAX
WESTCHESTER COUNTY

8439

MORTG. DATE _____
MORTG. AMOUNT _____
EXEMPT YES _____ NO _____
REC'D TAX ON ABOVE MTGE: _____
BASIC \$ _____
ADDTL \$ _____
SUBTOTAL \$ _____
SPECIAL \$ _____
TOTAL \$ _____
SERIAL No. _____
DWELLING: 1-6 UNITS
 OVER 6 UNITS

ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

ADDITIONAL COMMENTS

TERMINAL No. 990260025 DATE RETURNED _____

EXAMINED BY [Signature]
WITNESS MY HAND AND OFFICIAL SEAL
[Signature] SPANO
WESTCHESTER COUNTY CLERK

THE RECORDING DATE OF THIS INSTRUMENT AS INDICATED BELOW IS THE OFFICIAL DATE ON WHICH THE WESTCHESTER COUNTY CLERK RECEIVED THIS INSTRUMENT. QUESTIONS REGARDING DELAYS PRIOR TO THIS DATE SHOULD BE ADDRESSED TO YOUR REPRESENTATIVE OR ATTORNEY.

000003000 01/26/89CPA/DE 15.00
07:20

RECEIVED
89 JAN 26 AM 7:15
ANDREW J. SPANO
WESTCHESTER COUNTY CLERK

RECORD AND RETURN

330 Theall Road



T00495299



DED2



*** DO NOT REMOVE ***

WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED-DEED FEE PAGE 3 TOTAL PAGES 4
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE 5.25
REC'ING CHARGE 9.00
RECMGT FUND 4.75
EA 5217 25.00
TP-584 6.00
CROSS-REF. 0.00
MISC. _____

MORTGE. DATE _____
MORTGE. AMT _____
EXEMPT YES _____ NO _____

LIBER: 11270
PAGE : 115

REC'D TAX ON ABOVE MTGE: THE PROPERTY IS SITUATED
YONKERS \$ _____ IN WESTCHESTER COUNTY,
BASIC \$ _____ NEW YORK IN THE:
ADDITIONAL \$ _____ CITY OF RYE CITY
SUBTOTAL \$ _____
MTA \$ _____
SPECIAL \$ _____
TOTAL PAID \$ _____

TOTAL PAID
50.00

\$ 350000.00
CONSIDERATION

SERIAL NO. _____
DWELLING 1-6 OVER

RECEIVED:
TAX AMOUNT \$ 1400.00
TRANSFER TAX# 0004120

DUAL TOWN
 DUAL COUNTY/STATE
 HELD
 NOT HELD _____

TITLE COMPANY NUMBER: _____

EXAMINED BY WVP3

TERMINAL CTRL# 95299T004

DATE RETURNED _____

000030000 10/26/95CPA/DE 50.00
09:16

WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK



411140381DEDC

Control Number
411140381

WIID Number
2001114-000187

Instrument Type
DED



**WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)**

***** DO NOT REMOVE *****

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED - DEED

FEE PAGES 3

TOTAL PAGES 3

RECORDING FEES

STATUTORY CHARGE	\$5.25
RECORDING CHARGE	\$9.00
RECORD MGT. FUND	\$4.75
RP 5217	\$25.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$49.00

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
YONKERS	\$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
SUBTOTAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

TRANSFER TAXES

CONSIDERATION	\$600,000.00
TAX PAID	\$2,400.00
TRANSFER TAX #	27431

**SERIAL NUMBER
DWELLING**

**RECORDING DATE 04/30/2001
TIME 10:55:00**

**THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
CITY OF RYE**

WITNESS MY HAND AND OFFICIAL SEAL

**LEONARD N. SPANO
WESTCHESTER COUNTY CLERK**

**Record & Return to:
BRUCE HOFFSTETTER/ELLEN POLLOCK
LEVINE, HOFFSTETTER & FRANGK
316 MAIN MALL
POUGHKEEPSIE, NY 12601**

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



521883011DED002T

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Thoroughbred Title Services, LLC	Phone:	914-644-6100
Address 1:	800 Westchester Avenue	Fax:	914-644-6159
Address 2:	Suite S434	Email:	contactus@thoroughbredtitleservices.co
City/State/Zip:	Rye Brook NY 10573	Reference for Submitter:	Connolly

Document Details

Control Number: 521883011	Document Type: Deed (DED)
Package ID: 2012070600004001003	Document Page Count: 3 Total Page Count: 4

Parties

1st PARTY		<input type="checkbox"/> Additional Parties on Continuation page	
		2nd PARTY	
1: CONNOLLY KEVIN F	- Individual	1: STORZ ERIK E	- Individual
2: CONNOLLY PATRICIA A	- Individual	2: STORZ COURTNEY R	- Individual

Property

Street Address: 330 THEALL ROAD	<input type="checkbox"/> Additional Properties on Continuation page
City/Town: RYE CITY	Tax Designation: 146.17-1-2
	Village:

Cross-References

1:	2:	3:	4:	<input type="checkbox"/> Additional Cross-Refs on Continuation page
----	----	----	----	---

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$190.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$1,200,000.00
Transfer Tax:	\$4,800.00
Mansion Tax:	\$12,000.00
Transfer Tax Number:	147

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 08/03/2012 at 05:28 PM

Control Number: **521883011**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Thoroughbred Title Services, LLC
800 Westchester Avenue

Rye Brook, NY 10573
Attn: Vincent Esposito

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



590083187DED0025

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Benchmark Title Agency LLC	Phone:	914-250-2400
Address 1:	Benchmark Title Agency LLC	Fax:	914-422-1550
Address 2:	222 Bloomingdale Road, Suite 102	Email:	evanbomel@benchmarkta.com
City/State/Zip:	White Plains NY 10605	Reference for Submitter:	BTA 77197

Document Details

Control Number: 590083187	Document Type: Deed (DED)
Package ID: 2019010800107001001	Document Page Count: 3 Total Page Count: 4

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY	
1: STORZ ERIK E	- Individual	1: MIDDLETON NEIL	- Individual
2: STORZ COURTNEY R	- Individual	2: MIDDLETON BARBARA	- Individual

Property

Additional Properties on Continuation page

Street Address: 330 THEALL ROAD	Tax Designation: 146.17-1-2
City/Town: RYE CITY	Village:

Cross-References

Additional Cross-Refs on Continuation page

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$190.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$1,250,000.00
Transfer Tax:	\$5,000.00
Mansion Tax:	\$12,500.00
Transfer Tax Number:	7998

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 01/22/2019 at 04:00 PM

Control Number: **590083187**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Meredith Leff, Esq.
McCullough, Goldberger & Stoudt
1311 Mamaroneck Avenue, Suite 340
White Plains, NY 10605



CITY OF RYE
CITY HALL • RYE, NEW YORK 10580
TELEPHONE (914) 967-5400

June 8, 2022

**Certification regarding Protest Petition related to the Osborn's proposed Zoning Text
Amendment**

On May 28, 2022, a number of residents abutting the Miriam Osborn Memorial Home submitted a petition pursuant to General City Law Section 83. I have reviewed the signatures of the property owners and have confirmed that the petitioners have met the requisite percentage of property owners under General City Law § 83 to trigger a three-fourths vote requirement for Osborn's proposed Zoning Text Amendment to be adopted.

Duly Submitted,

A handwritten signature in cursive script that reads 'Carolyn D'Andrea'.

Carolyn D'Andrea

Rye City Clerk

George Latimer
County Executive

June 10, 2022

Christian K. Miller, City Planner
Rye City Planning Department
1051 Boston Post Road
Rye, NY 10580

**County Planning Board Referral File RYC 22-001 – The Osborn
Zoning Text Amendment**

Dear Mr. Miller:

The Westchester County Planning Board has received a revised petition to amend the text of the City of Rye Zoning Ordinance to add “R-2 Senior Living Facilities” as a special exception use within the R2 – Residence District. The petition has been submitted by the Miriam Osborn Memorial Home Association with respect to their existing senior residential and nursing facility located at 101 Theall Road (SBL 146.13-1-8). The property is the subject of a Declaration of Covenants and Restrictions, dated October 15, 1993, which governs the dimensional regulations for the property. Currently, these dimensional regulations are not codified anywhere in the City’s Zoning Ordinance.

As proposed, the R-2 Senior Living Facilities regulations would permit multi-family residential campuses for the exclusive use of residents aged 55 or older, with a variety of housing types allowed, including independent and assisted living facilities, ambulatory services, and domiciliary care facilities. Ancillary services such as office space, staff residencies of employees under 55 years of age, food preparation areas, and other facilities would also be permitted.

This petition has been revised from an earlier version that was submitted by the applicant in 2020. While R-2 Senior Living Facilities would still only be permitted on lots of 50 acres or more, minor changes to the dimensional requirements have been included. The maximum floor area ratio would be 0.43 instead of 0.45, and the maximum impervious surface coverage has been reduced to 33% from 35%. A maximum building height of four stories would remain, but would be regulated to 55 feet instead of 60. Specific conditions would allow for a five story section of a building, but parts of a building within 400 feet of Osborn Road would now be regulated to three stories. A 100-foot parking setback would now be required from the property lines bordering Boston Post Road or Old Post Road, and parking lots facing these streets, as well as Osborn Road, would require screening by evergreen plantings. Parking requirements would now be one space per independent living unit, and 0.25 spaces per assisted living, skilled nursing, nursing home, and memory care facilities.

We previously reviewed the prior zoning petition under the provisions of Section 239 L, M and N of the General Municipal Law and Section 277.61 of the County Administrative Code and we responded to the City in a letter dated May 8, 2020. We offer the following comments based on the revised petition:

1. Affirmatively furthering fair housing.

We continue to recommend the regulations for R-2 Senior Living Facilities include a mandatory 10% set-aside of affordable affirmatively furthering fair housing (AFFH) units. While we understand the complexities involved with this form of housing, there is also a dire need for affordable housing in Westchester County, as documented in the County's *Housing Needs Assessment*. We encourage the City to work with the applicant to provide a solution where a portion of these units can be set aside as affordable AFFH.

In addition, we urge the City to consider the County's [Model Ordinance Provisions](#) for guidance in providing affordable housing. The County developed these Provisions to standardize the affordable housing programs across Westchester to make it easier for both residents and developers to understand qualifications and requirements, and to provide fair housing throughout all municipalities.

2. Parking requirement.

We appreciate that the proposed amendment has decreased the required parking for independent living units from 1.5 spaces to 1 space per dwelling unit, especially as the impervious surface coverage limit has been lowered.

Please inform us of the City's decision so that we can make it a part of the record.

Thank you for calling this matter to our attention.

Respectfully,
WESTCHESTER COUNTY PLANNING BOARD

By: 

Norma V. Drummond
Commissioner



CITY COUNCIL AGENDA

DEPT.: City Manager

DATE: June 10, 2022

CONTACT: Greg Usry, City Manager

AGENDA ITEM: Consideration of a resolution approving a SEQRA Negative Declaration and approving a proposed local law proposed to amend the text of the City of Rye Zoning Code to create new use and development standards for "Senior Living Facilities" in the R-2 Zoning District.

FOR THE MEETING OF:

June 15, 2022

RECOMMENDATION: The City Council should review the draft resolution of adoption of the proposed local law and Part 2 and related attachments of the Environmental Assessment Form (EAF).

IMPACT: Environmental Fiscal Neighborhood Other:

BACKGROUND:

The attached draft resolution of approval of the proposed Osborn Zoning Text Amendment has been prepared for the City Council's consideration. The Council, as Lead Agency under SEQRA should carefully review the attached Part 2 of the EAF and the attachment, which provides and assessment of the potential impacts of the proposed action.

**RESOLUTION OF THE RYE CITY COUNCIL TO ADOPT A NEGATIVE
DECLARATION UNDER THE STATE ENVIRONMENTAL QUALITY REVIEW ACT
(SEQRA) AND ADOPT THE PROPOSED ZONING TEXT AMENDMENT AMENDING
THE R-2 ZONING DISTRICT TO ADD A NEW USE FOR SENIOR LIVING
FACILITIES**

WHEREAS, The Miriam Osborn Memorial Home Association (the “Osborn”) submitted a petition dated **November __, 2018** to amend Section 197-86 of the City of Rye Zoning Code to add a new Section 15 entitled “R-2 Senior Living Facilities” (“SLF”) to Table A, Column 2 (the “Zoning Text Amendment”); and

WHEREAS, the Zoning Text Amendment would allow for Senior Living Facilities on lots having a minimum of 50 contiguous acres with numerous other bulk and density restrictions including, but not limited to, minimum setbacks, height restrictions, and lot coverage;

WHEREAS, the proposed action applies to all the R-2 Districts in the City, which are located throughout the City; and

WHEREAS, the Osborn is the only property owner currently owning 50 contiguous acres in the R-2 District; and

WHEREAS, the Osborn presented a proposed Zoning Text Amendment in November 2018 to the City Council and the City Council referred the matter to the Planning Commission for its advisory review and recommendation; and

WHEREAS, the Osborn’s property, 101 Theall Road, is known on the Rye City Tax Map as Parcel 146-13, Block 1, Lot 8, and is located in an R-2 District; and

WHEREAS the Zoning Text Amendment includes proposed text amendments dated November 28, 2018 that were subsequently re-submitted and/or revised on March 11, 2019, October 8, 2019, November 12, 2019, December 3, 2019, January 22, 2020, March 11, 2020, and February 19, 2021, and June 3, 2022; and

WHEREAS the Zoning Text Amendment includes Part 1 of the Environmental Assessment From (EAF) dated November 28, 2018 which was subsequently re-submitted and/or revised on March 11, 2019, March 11, 2020, April 20, 2020, June 1, 2022, and June 3, 2022; and

WHEREAS, on December 19, 2018, the Zoning Text Amendment was discussed and considered in a meeting of the City Council; and

WHEREAS, starting in the winter of 2018/2019 and throughout the various zoning text amendments, the City Council participated in numerous site walks of the Osborn’s property and reviewed the surrounding areas; and

WHEREAS, on February 27, 2019, the City Council referred the Zoning Text Amendment to the Planning Commission for review and comment; and

WHEREAS, on March 26, 2019, May 7, 2019, October 15, 2019, October 29, 2019, November 19, 2019, and December 10, 2019 the Zoning Text Amendment was considered and discussed in meetings of the Planning Commission; and

WHEREAS, on March 30, 2019, the Planning Commission conducted a site walk of the Osborn's property and reviewed the surrounding areas; and

WHEREAS, on October 8, 2019, the Osborn submitted to the Planning Commission revisions to the proposed text amendments, supporting materials, and a planning statement prepared by Divney Tung Schwalbe; and

WHEREAS, on November 12, 2019, the Osborn further revised its submission to the Planning Commission and included supporting materials; and

WHEREAS, on December 10, 2019, the Zoning Text Amendment was considered in a meeting of the Planning Commission and the Planning Commission approved its report and recommendation to the City Council supporting text changes with respect to the proposed use, recognizing that proposed bulk and dimensional standards would help advance the Osborn's needs in a competitive market, and recommending a revised zoning text amendment with modified standards for building height, setback, coverage, and buffer; and

WHEREAS, on January 22, 2020, the Osborn submitted to the City Council revisions to the proposed text amendments based upon discussions with the Planning Commission; and

WHEREAS, on March 11, 2020, the Osborn submitted to the City Council an updated Zoning Text Amendment including revisions to the proposed text amendments, an updated Part 1 EAF, a residential property value analysis prepared by DTS provided, and other supporting materials; and

WHEREAS, on April 15, 2020, the revised Zoning Text Amendment and related SEQRA matters were discussed and considered in a meeting of the City Council; and

WHEREAS, on April 20, 2020, Petitioner submitted a revised Part 1 of the Environmental Assessment Form (EAF); and

WHEREAS, on April 27, 2020, Rye City Planner Christian K. Miller, submitted to the City Council a draft Part 2 EAF which identified no moderate or large impacts associated with the petition; and

WHEREAS, on April 29, 2020, the City Council further discussed the Zoning Text Amendment and the City Council set a public hearing for it May 13, 2020 meeting; and

WHEREAS, in May 2020 the Zoning Text Amendment was referred by Rye City Planner Christian K. Miller to the Westchester County Planning Board pursuant to the requirements of th General Muncpal Law and the Westchester County Admininstrative Code; and

WHEREAS, on May 8, 2020, the Westchester County Planning Board provided a letter offering comments relating only to Affirmatively Furthering Fair Housing (AFFH) units and parking requirements; and

WHEREAS, on May 13, 2020, a duly noticed public hearing was held related to the Zoning Text Amendment and all members of the public wishing to be heard were given the opportunity to be heard, the City Council asked the Osborn to come to the next session prepared to address the comments that were heard, and the public hearing was continued; and

WHEREAS the public hearing and SEQRA discussion was continued to the City Council's May 27, 2020 meeting, where it was then adjourned to the City Council's June 10, 2020, July 15, 2020, September 16, 2020, and October 7, 2020 meetings; and

WHEREAS, on September 28, 2020, Petitioner submitted to the City Council responses to public comments; and

WHEREAS, on October 7, 2020, the petition was discussed and considered in a meeting of the City Council and the public hearing and SEQRA discussion was continued to the City Council's October 21, 2020 meeting; and

WHEREAS, on October 21, 2020, a duly noticed public hearing was held and all those wishing to be heard were given the opportunity to be heard and the public hearing was continued; and

WHEREAS the public hearing and SEQRA discussion was continued to the City Council's November 4, 2020 meeting, where it was then adjourned to the City Council's December 2, 2020, January 6, 2021 January 20, 2021, February 3, 2021, and February 24, 2021 meetings; and

WHEREAS, on February 19, 2021, the Osborn submitted to the City Council revisions to the proposed text amendments, a traffic evaluation prepared by Hardesty & Hanover, LLC, and a sewer report prepared by Divney Tung Schwalbe and QAV Technologies, and other supporting materials in response to comments made by neighbors, the City Council, the Planning Commission, and City Staff; and

WHEREAS, on February 24, 2021, a duly noticed public hearing was held and all members of the public wishing to be heard were given the opportunity to be heard and the public hearing was continued; and

WHEREAS, on March 10, 2021, a duly noticed public hearing was held and all members of the public wishing to be heard were given the opportunity to be heard and the public hearing was continued; and

WHEREAS, the public hearing was continued to the City Council's March 24, 2021 meeting, where it was then adjourned to the City Council's April 7, 2021, April 21, 2021, May 5, 2021, June 9, 2021, July 14, 2021, July 22, 2021, August 11, 2021, September 22, 2021, October

20, 2021, November 3, 2021, November 17, 2021, December 1, 2021, January 19, 2022, March 16, 2022, April 6, 2022, and May 25, 2022 meetings; and

WHEREAS, on March 9, 2022, the Osborn submitted to the City Council responses to public comments, an Illustrative Site Diagram prepared by RLPS Architects, a concept planting plan prepared by Towers Golde, LLC, and other supporting materials; and

WHEREAS, on May 18, 2022, the Osborn submitted to the City Council an updated traffic study prepared by Hardesty & Hanover, LLC to consider the post-pandemic environment; and

WHEREAS, on May 25, 2022, a duly noticed public hearing was held before the City Council related to the Zoning Text Amendment and all members of the public wishing to be heard were given the opportunity to be heard; and

WHEREAS, on, June 1, 2022, the Osborn submitted a revised Part 1 of the EAF; and

WHEREAS, on, June 3, 2022, the Osborn submitted to the City Council revisions to the proposed text amendments, a revised Illustrative Site Diagram prepared by RLPS Architects, a Zoning Comparison Table prepared by DTS Provident Design Engineering, LLP, an updated Part 1 EAF, and a Part 2 EAF; and

WHEREAS, on June 3, 2022, the Zoning Text Amendment was referred again by Rye City Planner Christian K. Miller to the Westchester County Planning Board; and

WHEREAS, the Westchester County Planning Board in a June 10, 2022 letter offered comments relating only to Affirmatively Furthering Fair Housing (AFFH) units and parking requirements; and

WHEREAS, after giving the public an opportunity to be heard and reviewing the written submissions, the City Council closed the public hearing on June 15, 2022; and

WHEREAS, under SEQRA, the proposed Zoning Text Amendment is classified as a Type I action pursuant to Section 617 of the regulations of SEQRA; and

WHEREAS, the City Council is the lead agency as this action is a legislative action of the City of Rye and the City Council is the only agency with jurisdiction by law to fund, approve, or directly undertake this action; and

WHEREAS, the City Council has completed a thorough review of the identified areas on the Environmental Assessment Form Parts I and II (along with the attachment dated June 10, 2022), which are incorporated herein by reference, and the City Council hereby adopts the findings, conclusions and rationale contained with Parts II and attachment of the EAF; and

WHEREAS, the Osborn prepared numerous studies to assist the City Council in reviewing any environmental impacts, including a stormwater management analysis, planting plan, illustrative simulations, and traffic evaluations; and

WHEREAS, there are no moderate to large impacts identified; and

WHEREAS, to acknowledge and further its contributions to the community and continuing a long term relationship, the Osborn has committed money toward a study of potential traffic and pedestrian improvements, as well as contributions toward Rye EMS and Rye Recreation; and

WHEREAS, the proposed action does not involve any specific project to change the existing use of buildings or properties in the R-2 District; and

WHEREAS, any site specific changes will be considered by the Planning Commission under site plan review.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Rye as follows:

1. The City Council, as Lead Agency, in a coordinated review (Planning Commission, Westchester County – interested agencies), has reviewed and considered the entire record of the Zoning Text Amendment, including all material submitted by or on behalf of the Applicant, the EAF, the Planning Commission recommendation, and the written and oral public comments made during the public hearings; and
2. The City Council has considered the potential impacts of the Proposed Action in light of the criteria set forth in the SEQRA regulations (6 NYCRR Section 617.7(c)) and the representations made by the Osborn; and
3. Having thoroughly reviewed the record and determined that the Proposed Action will not have significant adverse environmental impacts, the City Council hereby issues a Negative Declaration under SEQRA; and
4. The City Council hereby adopts the Zoning Text Amendment as presented at the City Council meeting on June 15, 2022 to amend the R-2 Zoning District; and

BE IT FUERTHER RESOLVED, that the City Council of the City of Rye authorizes Corporation Counsel to undertake the necessary steps to nullify the applicable 1993 Covenants and Restrictions that apply to the petitioner’s property.

On a motion by Councilperson _____, seconded by Councilperson _____, the foregoing Resolution was adopted on a vote of ____ ayes and ____ nays.

Full Environmental Assessment Form
Part 2 - Identification of Potential Project Impacts

Agency Use Only [If applicable]

Project :
 Date :

Part 2 is to be completed by the lead agency. Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

Tips for completing Part 2:

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer “**Yes**” to a numbered question, please complete all the questions that follow in that section.
- If you answer “**No**” to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box “Moderate to large impact may occur.”
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the “whole action”.
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

1. Impact on Land Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1) <i>If “Yes”, answer questions a - j. If “No”, move on to Section 2.</i>			
		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: Future construction may result in land disturbance and excavation, to be mitigated by land stabilization and plantings		<input checked="" type="checkbox"/>	<input type="checkbox"/>

2. Impact on Geological Features The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - c. If "No", move on to Section 3.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

3. Impacts on Surface Water The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - l. If "No", move on to Section 4.</i>			
See analysis submitted by the Applicant: Zoning Text Amendment Petition - Environmental Assessment, Section V.2.B, Stormwater Management, dated 3/11/20	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

I. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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4. Impact on groundwater
 The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. NO YES
 (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t)
If "Yes", answer questions a - h. If "No", move on to Section 5.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

5. Impact on Flooding
 The proposed action may result in development on lands subject to flooding. NO YES
 (See Part 1. E.2)
If "Yes", answer questions a - g. If "No", move on to Section 6.

See analysis submitted by the Applicant: Zoning Text Amendment Petition - Environmental Assessment, Section V.2.B, Stormwater Management, dated 3/11/20	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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6. Impacts on Air			
The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO ₂) ii. More than 3.5 tons/year of nitrous oxide (N ₂ O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF ₆) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals			
The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
See analysis submitted by the Applicant: Zoning Text Amendment Petition - Environmental Assessment, Section V.2.A, Trees, dated 3/11/20 and Campus Perimeter Planting Plan - South, dated 3/7/22			
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input checked="" type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: Future construction may result in tree removals, to be mitigated by the planting of new trees _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

8. Impact on Agricultural Resources			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

9. Impact on Aesthetic Resources The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>				<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
See analysis submitted by the Applicant: Zoning Text Amendment Petition - Environmental Assessment, Section V.2.C, Views to Site, dated 3/11/20 and Views of Existing Conditions and Illustrative Simulations, dated 3/07/22		Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur	
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.		E3h	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.		E3h, C2b	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round		E3h	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities		E3h E2q, E1c	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.		E3h	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile		D1a, E1a, D1f, D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
g. Other impacts: _____ _____			<input type="checkbox"/>	<input type="checkbox"/>	

10. Impact on Historic and Archeological Resources The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
		Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur	
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on the National or State Register of Historical Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places.		E3e	<input type="checkbox"/>	<input type="checkbox"/>	
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.		E3f	<input type="checkbox"/>	<input type="checkbox"/>	
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____		E3g	<input type="checkbox"/>	<input type="checkbox"/>	

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered “Moderate to large impact may occur”, continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property’s setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

11. Impact on Open Space and Recreation			
The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) <i>If “Yes”, answer questions a - e. If “No”, go to Section 12.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or “ecosystem services”, provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

12. Impact on Critical Environmental Areas			
The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) <i>If “Yes”, answer questions a - c. If “No”, go to Section 13.</i>		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: <u>Playland Park, a county Park, is located approximately 1 mile from the site.</u> _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

13. Impact on Transportation The proposed action may result in a change to existing transportation systems. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.j) <i>If "Yes", answer questions a - f. If "No", go to Section 14.</i>			
See analysis submitted by the Applicant: Traffic Evaluation - The Osborn - Future Expansion, dated 2/17/21 and updated Traffic Evaluation - The Osborn - Future Expansion, dated 5/18/22	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

14. Impact on Energy The proposed action may cause an increase in the use of any form of energy. <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (See Part 1. D.2.k) <i>If "Yes", answer questions a - e. If "No", go to Section 15.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

15. Impact on Noise, Odor, and Light The proposed action may result in an increase in noise, odors, or outdoor lighting. <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (See Part 1. D.2.m., n., and o.) <i>If "Yes", answer questions a - f. If "No", go to Section 16.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: <u>Temporary construction-related noise impacts may occur in the future</u> _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Impact on Human Health

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)
If "Yes", answer questions a - m. If "No", go to Section 17.

NO

YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

17. Consistency with Community Plans The proposed action is not consistent with adopted land use plans. (See Part 1. C.1, C.2. and C.3.) <i>If "Yes", answer questions a - h. If "No", go to Section 18.</i>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
See analysis submitted by the Applicant: Zoning Text Amendment Petition - Environmental Assessment, Section V.1, Zoning and Land Use, dated 3/11/20	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>		
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>		
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>		
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>		
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>		
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>		

18. Consistency with Community Character The proposed project is inconsistent with the existing community character. (See Part 1. C.2, C.3, D.2, E.3) <i>If "Yes", answer questions a - g. If "No", proceed to Part 3.</i>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
See analysis submitted by the Applicant: Zoning Text Amendment Petition - Environmental Assessment, Section V.2.C, Views to Site, dated 3/11/20 and Illustrative Site Diagram, Views of Existing Conditions and Illustrative Simulations, dated 3/07/22	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>		
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>		
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>		
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>		
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>		

ATTACHMENT

Full Environmental Assessment Form The Osborn Zoning Text Amendment Petition

June 10, 2022

Background

The Proposed Action involves a zoning text amendment that would codify existing development restrictions for The Osborn currently regulated by a 1993 covenant and restriction (hereinafter “1993 C&R”). In addition, the text amendment proposes a new “R-2 Senior Living Facilities” use that would apply to The Osborn property. This use is consistent with the current senior living use of the property and continues to preserve many of the existing bulk and dimensional requirements regulated by the 1993 C&R including maximum building coverage and minimum lot area. Maximum permitted building height has been reduced and building setback and perimeter landscape requirements have generally been increased. Maximum permitted site impervious coverage has been increased from 30% to 33% and the maximum permitted floor area (FAR) has been increased from 0.30 to 0.43. The current proposed local law has undergone a number of revisions since its first submission in November 2018 in response to City Council, Planning Commission and public comment. A comparison of various zoning restrictions is attached hereto.

The action is legislative and does not directly result in any environmental impacts. An additional environmental review would occur at the time a site plan application is submitted to the Planning Commission proposing a specific development on the property at a future date. It is anticipated that future development would be phased over a period of years. In an effort to be as comprehensive as possible, the Part II and this attachment assess future development assuming full development and a potential mix of development. An illustrative site plan of future development has been prepared by the petitioner and is attached hereto for reference.

Pursuant to the requirements of SEQR, Part I of the EAF has been completed by the petitioner. The Part I has been revised and resubmitted by the petitioner to reflect the latest proposed text amendment and in response to comments raised by City Council at public hearings.

Part II of the EAF is the responsibility of the City Council since it is the Lead Agency for the proposed zoning petition. The Part II form is intended to be a guide that the Lead Agency uses in assessing whether the proposed action may have a significant adverse impact on the environment that necessitates the preparation of an Environmental Impact Statement (i.e. a “Positive Declaration”) or that the anticipated impacts are not significant and that a Negative Declaration can be issued by the Lead Agency before reaching a decision on the proposed action.

Environmental Assessment

The Part II assessment provided for the Council’s consideration does not identify any “moderate or large impacts”. That is due in part that the 50+ acre Osborn property (which is the only property subject to the proposed zoning petition) is relatively free of environmental constraints and that the specific senior living use contemplated by the proposed zoning petition is consistent with the current use of the property and does not generally generate significant impacts on a per square-foot basis. This assessment is supported

by a number of studies and supporting documents that are part of the record and where applicable are specifically referenced in the EAF. The following provides a discussion of each of the environmental impact areas identified on the EAF.

1. *Impact on Land*

The Proposed Action will not have a significant adverse impact on land, based on the development restrictions included in the proposed text amendment and anticipated future development. The Osborn property is not located within a Coastal Erosion hazard area and is generally level with only 0.5% of the site having slopes in excess of 15%. Future construction may encounter ground water and rock within 5 feet of ground surfaces however those impacts are anticipated to be small. Future development will need to comply with all State and Local stormwater management and erosion control requirements and best construction management practices. Disturbed areas will be restored with landscaping as required by the proposed zoning text amendment.

2. *Impact on Geological Features*

The Proposed Action will not have a significant adverse impact on geological features since there are no significant geological features on the site such as cliffs, dunes, minerals or caves.

3. *Impacts on Surface Water*

The Proposed Action will not have a significant adverse impact on surface water. There are no wetlands, streams or other waterbodies on the site or within close proximity of the site. All future construction will comply with the State and Local stormwater management and erosion control requirements. This assessment is supported by the Stormwater Management information provided in Section V.2.B of the petitioner's 3/11/20 submission.

The property has access to sewer so there will be no discharge of wastewater to surface waters and will not require the construction or expansion of a wastewater treatment facility. The petitioner's engineers have evaluated the existing sanitary sewer system. Part I of the petitioner's EAF notes an estimated increase of up to 15,300 gallons per day. That increase in and of itself does not represent a volume that cannot be accommodated by downstream sewer capacities, but there may need to be some improvements necessary. The property is somewhat unique in that it has four existing sewer connections it can use and is located in two different County Sewer Districts. This offers future development flexibility to distribute increased flows to minimize downstream impacts. That does not mean that there will be no impact, but that impact is not expected to be "moderate or large" and that it is reasonable to assume that downstream measures could be implemented to offset increase sewage flows as a specific future development is proposal is considered at the time of site plan review.

4. *Impact on Groundwater*

The Proposed Action will not have a significant adverse impact on groundwater. The property is served by potable water and will not require water supply wells. The property has access to sewer so there will be no discharge of wastewater to ground water. There will not be bulk storage of petroleum or chemical products over ground water or an aquifer. There are no potable drinking water or irrigation sources on or near the property.

5. *Impact on Flooding*

The Proposed Action will not have a significant adverse impact on flooding. The Osborn property is located on one of the highest elevations in the City and is not located in close proximity to any designated floodway or flood zone or dam. The Proposed Action will not result in any development within a flood zone or change flood flows. All future construction will comply with the State and Local stormwater management and erosion control requirements.

6. *Impact on Air*

The Proposed Action will not have a significant adverse impact on air. The proposed use involves a senior living facility and will not exceed any of the emission thresholds identified in Part II of the EAF.

7. *Impact on Plants and Animals*

The Proposed Action will not have a significant adverse impact on plants and animals. As shown in NYS Environmental Mapper in Part I of the EAF, the 50+ acre Osborn property does not have any populations of threatened or endangered species or species of concern. The proposed zoning text amendment includes provisions to preserve existing landscaping and to provide perimeter planting. Exhibit V.2 of the petitioner's 3/11/20 submission provides extensive documentation as the existing tree inventory and tree preservation measures.

8. *Impact on Agricultural Resources*

The Proposed Action will not have a significant adverse impact on agricultural resources. The property will maintain its senior living use. There is no agriculture land on the property and there is no farmland or agricultural districts in the City of Rye or immediate area.

9. *Impact on Aesthetic Resources*

The Proposed Action will not have a significant adverse impact on aesthetic resources. The Proposed Action will not result in future development that is in sharp contrast to current land use patterns or adversely impact a scenic or aesthetic resource. The Osborn property is not visible from any officially designated federal, state or local scenic or aesthetic resources. The proposed senior living use is consistent with the existing use of the property and surrounding multi-story office, medical and multi-family uses. There was considerable attention devoted to the aesthetic impact on area single-family residences located opposite the property on Boston Post and Osborn Roads. The record includes visual simulations from these residential vantage points (See Section V.2.C of the petitioner's 3/11/20 submission and simulations in the 3/7/22 submission). In addition, in response to public comments the text amendment was revised multiple times to require greater property line setbacks and lower maximum building height than the existing 1993 C&R. The proposed text amendment also includes perimeter landscape screening requirements.

10. *Impact on Historic and Archeological Resources*

The Proposed Action will not have a significant adverse impact on historic or archeological resources. The Osborn property does not have, nor is it substantially contiguous to, any building listed or nominated for listing on the New York State or National Register of Historic Places. The Osborn property is not locally landmarked, nor is it substantially contiguous to any locally landmarked building or district pursuant to the City Code. The Osborn property is also not within close proximity of any sites of local or national register significance as identified in the City's *Development Plan*. The Osborn property may have archeological resources, however specific identification of those resources and what (if any) impacts there may be on those resources will need to be assessed at the time there is a specific site plan proposed for future development.

11. *Impact on Open Space and Recreation*

The Proposed Action will not have a significant adverse impact on open space and recreation. The Osborn property will not result in the impairment of natural functions or "ecosystem services" provided by an undeveloped area. The property consists almost of entirely of managed landscape and open space environment and does not have natural areas supporting wildlife habitat. The Osborn property does not have any current recreational opportunities other than walking paths throughout the property. The Osborn property has an open space character, particularly along Boston Post and Osborn Roads. The Osborn is private property, however the area of the property abutting Osborn Road may be informally used by the public for passive recreation and contributes to open space character for single-family residences in the area. As a result of concerns raised in the public hearing, the building setback requirements in the proposed zoning text amendment have been significantly increased over what is currently permitted in the 1993 C&Rs. This area of the site currently allows 5 story buildings with 75 feet of height to be located 160 feet from the Osborn property line. The Proposed Action would repeal the 1993 C&R and limit future development in this area to prohibit buildings having 3 stories and 45 feet to not be located closer than 300 feet from the property line and 400 feet for any building greater than 3 stories. This increase setback provides for the preservation of open space in this area.

12. *Impact on Critical Environmental Areas*

The Proposed Action will not have a significant adverse impact on critical environmental areas (CEA). Playland Park and Parkway are identified as CEA's. The Osborn is located approximately one mile from Playland Park and is not visible from Playland Parkway. The proposed action will not result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.

13. *Impact on Transportation*

The Proposed Action will not have a significant adverse impact on transportation. The proposed action will not degrade existing transit, pedestrian or bicycle accommodations. The proposed action will not result in the construction of parking for 500 or more vehicles. The proposed senior living use is consistent with the existing use on the property, which does not involve high trip generation that coincides with peak hour of traffic. Future development does not materially contribute to degrading existing road capacities or significantly reduce intersection level of service on area roadways. The petitioner conducted two traffic impact studies (see 2/17/21 and 5/18/22

submissions) noting that the proposed action will add five vehicle trips to any peak hour on Osborn Road adjoining Osborn Elementary School.

14. *Impact on Energy*

The Proposed Action will not have a significant adverse impact on energy. The proposed action will comply with all applicable energy code and conservation requirements.

15. *Impact on Noise, Odor and Light*

The Proposed Action will not have a significant adverse impact on noise, odor and light. The proposed use will be consistent with the existing noise, odor and light levels of the existing senior living use. Construction noise will comply with State and local construction. Specific noise mitigation measures could be implemented as part of the environmental review associated with any future site plan submission.

16. *Impact on Human Health*

The Proposed Action will not have a significant adverse impact on human health. The Osborn is a nursing home and retirement community and is located within 1,500 feet of Osborn Elementary School. Impacts to these resources would generally be limited to construction activities, which are not anticipated to be significantly adverse but will be subject to greater scrutiny during the environmental review associated with a future site plan application. The proposed senior living use is consistent with the existing use and involve potential exposure to sources of contaminants.

17. *Consistency with Community Plans*

The Proposed Action will not have a significant adverse impact on consistency with community plans. The Petitioner's 3/11/20 submission cites references to consistency with policies in the City's Development Plan and Westchester County 2025 Plan. The Osborn has operated as a senior living and nursing home facility in Rye for many decades. The proposed senior living use is consistent with the existing use of the property and surrounding multi-story office, medical and multi-family uses, which have similar or higher FAR requirements than that proposed in the zoning text amendment. As previously discussed, the proposed text amendment provides greater building setback and lower building height restrictions than the existing 1993 C&R in response to the concerns regarding potential impacts to single-family residential uses located opposite the site on Osborn and Boston Post Roads.

18. *Consistency with Community Character*

As discussed in responses to items 9, 10 and 11 above, the Proposed Action will not have a significant adverse impact on community character.

In addition, the Proposed Action will not adversely impact community services. As with the existing senior living use, the proposed text amendment restricts the age of residents to 55 and over resulting in no increase in school age children. Older populations may result in increased EMS, Fire and Police calls, however these impacts are not anticipated by the moderate or large.



ILLUSTRATIVE SITE DIAGRAM
 THE OSBORN - RYE, NEW YORK

Comparative Zoning Table

Zoning Standard	The Osborn - Existing Conditions	1993 Declaration	R-2 District	RA-6 District (St. Regis Residences)	Proposed Local Law (Nov. 2018)	Proposed Local Law (rev. Mar. 2020)	Proposed Local Law (rev. Feb. 2021)	Proposed Local Law (rev. June 2022)
Max FAR	0.26	0.3	0.2	0.75	0.5	0.45	0.45	0.43
Min. Lot Size	55.79 ac 2,430,182 sf	50 ac	.5 ac / family	2,500 sf / family	50 ac	50 ac	50 ac	50 ac
Min. Yards (ft)						(f)	(j)	(j)
Front	174 (a)	160	35	150 (d)	150 (c)	160 (g, h)	160 (k, l)	160 (k, l)
One side	161 (b)	160	15	50	50	160 (g, h)	160 (k, l)	160 (k, l)
Two sides		-	40	100				
Rear	161 (c)	160	40	50	50	160 (g, h)	160 (k, l)	160 (k, l)
Max. Height								
Stories	5	5	2.5	4	5	4 / 5 (i)	4 / 5 (m)	4 / 5 (m, n)
Feet	64	75	32	45	60	60 / 75 (i)	60 / 65 (m)	55 / 65 (m, n)
Max. Building Coverage	11.53%	15%	-	35%	20%	15%	15%	15%
Max. Site Impervious Coverage	26.50%	30%	-	-	35%	35%	35%	33%

- Notes**
- (a) Pre-1993 building - 120 feet
 - (b) Pre-1993 building - 53 feet
 - (c) Pre-1993 building - 120 feet
 - (d) Per §197 Table A, note (k), "The required front yard setback can be reduced to no less than 100 feet, provided that the maximum permitted area of the encroachment of the structure into this reduced setback shall be less than 15% of the total area between the front yard line and the standard 150' setback."
 - (e) Proposed - Required front yard setbacks may be reduced to no less than 60 feet, provided that the maximum permitted area of the encroachment of the structure into this reduced setback shall be no more than 25% of the total area between the front yard line and the standard 150-foot setback. Notwithstanding the foregoing, for all new buildings and structures, a minimum setback of 150 feet shall be maintained from Old Boston Post Road.
 - (f) Proposed - Where an R-2 Senior Living Facility adjoins or is located across the street from a single-family residence or school, the required yard shall be planted and maintained with appropriate landscaping so as to provide effective visual screening, shall contain no parking, storage or other program use, may contain stormwater management facilities, and shall be crossed only by sidewalks and access drives.
 - (g) Proposed - Where an R-2 Senior Living Facility is located across a non-State, non-County, or non-federally-designated road from a one-family district, the minimum required setback from that road shall be 240 feet.
 - (h) Proposed - Where an R-2 Senior Living Facility adjoins or is located across the street from other than a single-family residence or school, the required setback can be reduced to no less than 100 feet, provided that the maximum permitted area of the encroachment of the structure into this reduced setback shall be less than 30% of the total area between each yard line and the standard 160' setback.
 - (i) Proposed - Where proposed buildings are set back a minimum of 240 feet from a boundary line and can be wholly located within an area of said setback that can contain a horizontal square with 200-foot sides, the permitted maximum height may be increased to 5 stories, 75 feet.
 - (j) Proposed - Where an R-2 Senior Living Facility adjoins or is located across the street from a single-family residence or school, the required yard shall be planted and maintained with appropriate landscaping in keeping with the existing setting so as to provide effective visual screening and shall contain no permanent structures or storage. Such required yard may contain stormwater management facilities, sidewalks and other passive recreation features, and access drives.
 - (k) Proposed - The minimum yard requirement from Osborn Road shall be 300 feet. The minimum required setback from Osborn Road for parking or non-access roadways shall be 240 feet. **The minimum required setback from Boston Post Road and Old Post Road for parking or new non-access roadways shall be 100 feet.**
 - (l) Proposed - Where an R-2 Senior Living Facility adjoins or is located across the street from other than a single-family residence, senior apartment or school, the required yard setback can be reduced to no less than 100 feet, provided that the maximum permitted area of the encroachment of the structure into this reduced setback shall be less than 30% of the total area between each yard line and the standard 160' setback.
 - (m) Proposed - Where proposed buildings are set back a minimum of 240 feet from a boundary line and can be wholly located within an area of said setback that can contain a horizontal square with 200-foot sides, the permitted maximum height may be increased to 5 stories, 65 feet.
 - (n) Proposed - No building within 400 feet of Osborn Road shall exceed three (3) stories or 45 feet in height.**

The Osborn - Zoning Text Amendment Petition - R2 Senior Living Facility
Studies and Environmental Analysis

- **November 28, 2018 – City Council Submission with Petition for Amendments to the City of Rye Zoning Ordinance**
 - Full Environmental Assessment Form (FEAF), dated November 28, 2018.

- **October 7, 2019 – Planning Commission Submission with Planning Statement**
 - *The Osborn - Planning Statement in Support of Zoning Petition* together with *Comparative Zoning Table* and *Proposed R-2 SL Zoning Diagram*, prepared by Divney Tung Schwalbe, LLP, dated October 7, 2019.

- **November 12, 2019 – Planning Commission Submission with Revised Proposed Zoning Text Amendment**
 - *Updated Comparative Zoning Table* and *Proposed R-2 SL Zoning Diagram*, prepared by Divney Tung Schwalbe, LLP, dated November 12, 2019.

- **March 11, 2020 – City Council Submission of Zoning Text Amendment Petition Environmental Assessment**
 - Updated FEAF, dated March 11, 2020; and,
 - The Osborn in Rye Project Narrative and Environmental Assessment Studies, including:
 - The Osborn Today:
 - Profile;
 - Community Services; and,
 - Economic Benefits.
 - The Osborn Future:
 - Need for Osborn to Respond to Changing Senior Living Needs; and,
 - Proposed Scope of Improvements.
 - Zoning and Land Use:
 - Rye Zoning Code;
 - 1993 Declaration of Covenants and Restrictions;
 - Proposed Local Law Components;
 - Rye Development Plan; and,
 - Westchester 2025.
 - Site Features:
 - Trees;
 - Stormwater Management; and,
 - Views to Site.
 - Utilities:
 - Sanitary Sewer;
 - Water Supply; and
 - Natural Gas.
 - Community Issues:
 - School District;

The Osborn - Zoning Text Amendment Petition - R2 Senior Living Facility
Studies and Environmental Analysis

- Emergency Services; and
- Circulation and Traffic.

- **September 28, 2020 – City Council Submission with Response to Public Comments**
 - Responses by the Petitioner to comments from Public Hearing and letters received by Rye City Council.

- **February 19, 2021 – City Council Submission with Supplemental Studies and Analysis**
 - *Updated Comparative Zoning Table and Proposed R-2 SL Zoning Diagram* prepared by Divney Tung Schwalbe, LLP, dated February 2021;
 - *Traffic Evaluation – The Osborn – Future Expansion*, prepared by Hardesty & Hanover, LLC, dated February 7, 2021; and,
 - *Sanitary Sewer Evaluation Engineer’s Report, Osborn Road and Sonn Drive*, prepared by Divney Tung Schwalbe, LLP, dated February 2021.

- **March 7, 2022 – City Council Submission with Supplemental Studies and Analysis**
 - *Illustrative Site Diagram*, prepared by RLPS Architects, dated March 7, 2022;
 - *Campus Perimeter Concept Planting Plan – South* and Views of Existing Conditions and Illustrative Simulations, prepared by Towers Golde, LLC, dated March 7, 2022; and,
 - *Proposed Osborn Zoning Amendments and Residential Property Values* analysis, prepared by DTS Provident Design Engineering, LLP, dated March 2022.

- **May 18, 2022 – City Council Submission with Supplemental Studies and Analysis**
 - *Updated Traffic Evaluation – The Osborn – Future Expansion*, prepared by Hardesty & Hanover, LLC, dated May 18, 2022.

- **June 3, 2022**
 - Updated FEAF, dated June 3, 2022.



CITY COUNCIL AGENDA

DEPT.: City Manager

DATE: June 2, 2022

CONTACT: Greg Usry, City Manager

AGENDA ITEM: Open the public hearing for a waiver request from the existing rock removal moratorium from Fletcher Development.

FOR THE MEETING OF:

June 15, 2022

RECOMMENDATION: That the City Council set the public hearing to consider the waiver request.

IMPACT: Environmental Fiscal Neighborhood Other:

BACKGROUND: On April 19, 2022, a Local Law went into affect adopting a six-month moratorium in the City of Rye temporarily limiting the approval of any new mechanical rock removal, drilling or boring application to fifteen (15) calendar days and prohibiting the review, processing or approval of any blasting applications for the duration of this moratorium. Under this law, an aggrieved property owner may petition the City Council for a waiver of the 15 - calendar day limit or the prohibition on blasting permits and the City Council shall have the discretion to grant such waiver, or as much relief as the City Council may determine to be necessary and appropriate. Such petition shall be the subject of a public hearing before the City Council. Attached is a petition.

Attached is the applicant's waiver request and the applicant's attorney letter.

Dear City Council,

I am writing on behalf of the owners of 79 Manursing Avenue – Tommaso & Michelle Addona. The Addonas made the decision some time ago to build their home in Rye and, along with their three children, join your charming community. Over the past year they have been working with Robert A. Cardello Architects to design a beautiful house that they believe will be their “forever home”.

3.A.1 - The permitting process began back in November of 2021 long before the Local Law No. 5 of 2022 was put into effect. We are appealing to you, the members of the City Council, and asking that you recognize the hardship this law will cause the Addonas in building their dream home and allow them the standard 38 days for mechanical rock removal. The process of obtaining the building permit was quite lengthy, and at no time did anyone mention that this new local law was being discussed and would potentially go into effect. The Building Department was aware of this project since early 2021 when preliminary sketches were reviewed and knew that there was a very good possibility rock would be present, but at no time during the preliminary review or permitting process was there any mention requiring a separate permit for rock removal. We would like to say that the building department has been nothing but helpful in attempting to address this issue. With that said, there is another project that is roughly .3 miles away which is currently building under the 2015 Local Law amendment to 133-8 permitting rock removal in 38 days. It is our understanding that we are the first project to fall under this new moratorium. We are not looking for special treatment but would like the City Council to recognize that given the amount of rock that is present, it will be impossible to remove enough rock to complete the designed foundation in just 15 working days.

The Addonas have only followed the guidance of the architects via the information provided from the Building Department. If they are not granted this extension, they will have to do a full redesign, which will cause them more time and money, and will force them to give up a full level of their home. This will not only cause delays in the project but will leave the lot with a partially excavated hole that is prone to filling with groundwater. On behalf of the owners of 79 Manursing Ave., we would like to request that the members of city council consider our appeal for additional time to address rock removal within 38 days under the 2015 amendment to section 133-8.

3.A.2 - The current design of the home is a 2-story single family home. This home will fit in perfectly with the neighborhood. This home is conforming and within the zoning setbacks, FAR, and building height restrictions. They will have some slight unique features with the master balcony overlooking the pool and the mixture of stone veneer and stucco finish.

3.A.3 – This application is consistent with the appeal section of Local Law No. 5 of 2022. This was brought to our attention when we went to file for rock removal from the city building department. This appeal section was specifically shown to us and the team at Fletcher Development then followed the guidance of The City Manager’s office and have submitted this letter.

3.A.4 – The Architects for the project, Robert A Cardello, filed for the building permit and that permit was issued. As part of that permit The Contractor, Fletcher Development, filed for a demolition permit and that permit was issued. Since the beginning of the project both the Architect and Contractor have followed city building code guidelines and have had no issues.

3.A.5 – The application for relief is consistent with what is required to appeal due to the moratorium and the approval of Local Law No 5 of 2022.

Thank you in advance for your time and attention to this matter.

Respectfully yours,

Fletcher Development Team

June 10, 2022
VIA E-MAIL

Mayor Josh Cohn & Members of the City Council
1051 Boston Post Road
Rye, New York 10580

Re: **79 Manursing Avenue**
Waiver Request from Rock Removal Moratorium

Dear Mayor Cohn,

We represent Tommaso & Michelle Addona (collectively the “Applicants”) in connection with the above referenced matter. We write to supplement the letter submitted on behalf of the Applicants by Fletcher Development, LLC, to provide additional information and details concerning the Applicants’ request for a waiver from Local Law No. 5 of 2022.

The Applicants acquired 79 Manursing Avenue (the “Subject Property”) in December 2020, with the intent of redeveloping the Subject Property with a new home for their family, which includes their three young children ranging from 5 months to 4 years old. The Applicants retained Robert A. Cardello Architects to design the new house in January of 2021. After many months of preliminary design review, the Applicants filed an application with the Board of Architectural Review in September 2021. The Board of Architectural Review approved the new house on September 27, 2021.

Following the Board of Architectural Review approval, the Applicants received comments from the Building Department and the City’s engineering consultant in November 2021. From November 2021 through March 2022 the proposed plans went through several rounds of revisions in response to further review and comments from the Building Department and the City’s engineering consultant. During this time the Applicants were also seeking a demolition permit for the prior residence on the Subject Property. The demolition permit was issued on March 9, 2022, and demolition of the prior house was commenced on March 28, 2022. The Applicants were issued a building permit on April 4, 2022 and commenced excavation on the Subject Property on April 15, 2022.

During all this time the Applicants and their consultants were unaware that the City was contemplating adopting a rock removal moratorium that would impact their ability to complete the

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excavation work required to construct the new residence. The City Council adopted Local Law No. 5 of 2022 on April 6, 2022, which went into effect upon filing with the Secretary of State on April 18, 2022. If the Applicants or their consultants had been aware that a rock removal moratorium was being contemplated by the City Council they could have easily applied for and obtained a rock removal permit under Section 133-8 of the City Code in advance of the moratorium going into effect.

In accordance with Section 3.A.1 of Local Law No. 5 of 2022, in determining the suitability of a waiver under this section, the City Council shall consider the following factors:

- 1. Hardship to the petitioner, which hardship is substantially greater than any harm to the general public welfare that would result from the granting of the waiver. The property owner shall have the burden of demonstrating to the City Council that a waiver is warranted due to extreme hardship and that such extreme hardship was not the result of an act or omission by the applicant or property owner. Delay in construction plans alone will not be considered extreme hardship. In considering this factor, the City Council may request information regarding alternatives in site planning or construction techniques that the Applicant has considered or whether there are additional long-term plans for the project or site.**

The Applicants are currently residing at a rental home in Larchmont, but, in anticipation of their eventual move into their new house, have made all of their social ties to Rye. The Applicant's two oldest children (3 and 4 years old) have attended the nursery school program at Rye Presbyterian Nursery School since last year and are registered again for next year. The construction schedule for the new house anticipated the home being substantially complete by the Summer of 2023 so the Applicants' oldest child could seamlessly transition into the school district for the start of the school year.

Moreover, the prior residence has been removed and excavation has commenced. There is currently a large, depressed area on the site that is constantly being filled with stormwater and groundwater and requires continual dewatering. The site photos attached hereto as Exhibit 1 show the current conditions of the Subject Property. To leave the site dormant at this point would raise a number of issues concerning erosion control, stabilization, maintenance and safety. In addition, the Subject Property would be both an eyesore and a potential nuisance to neighbors as an insect breeding habitat during the summer months.

Due to the extent of the necessary rock removal for the excavation required for the project and the need for de-watering, the Applicants' will not be able to complete the work within the allowable fifteen (15) calendar day period with rock hammering. Attached as Exhibit 2 is an aerial view with the building footprint outline and approximate ledge elevations and necessary depths depicted. Until hammering is commenced, it is impossible for the Applicants to determine exactly how many days of rock hammering will be necessary to complete the work as that can depend on the hardness of the rock. However, the Applicants are confident that the necessary rock removal would be achievable within the thirty-eight (38) day calendar period allowed under Section 233-8.I of the City Code.

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In the alternative, the Applicants are also confident that if the City Council were to grant a waiver from the prohibition on blasting under Local Law No. 5 of 2022, that the necessary extent of rock removal would be achievable within fifteen (15) calendar days, inclusive of the pre-blast drilling of the site.

The Applicants hardship is not limited solely to the delay in construction but all of the consequences flowing therefrom. The Applicants' current lease for their temporary home expires in June of 2023. If the project is delayed indefinitely the Applicants may be left scrambling to find another temporary place to reside. In addition, the Applicants intended to be in their new home in time to have their oldest enter into the Rye City School District at the start of the school year. Pushing out the completion date of the project would mean their oldest child may have to transition to a new school in the middle of the school year. Moreover, the Applicants would be further harmed by having to continually de-water the site and maintain erosion control measures for an uncertain amount of time.

These hardships are not the result of an act or omission by the Applicants. The Applicants could have applied for and received a rock removal permit prior to the moratorium going into effect if they had been aware the moratorium was being contemplated. Unfortunately, they are not current Rye residents and had no knowledge of the moratorium, despite having been in the plan review and approval process with the City for approximately eight (8) months prior to the effective date of the moratorium. It is not as if the Applicants just acquired the Subject Property and are now seeking relief from the moratorium because it impacts their proposed plans.

The harm to the Applicants is substantially greater than any harm to the general public. As stated above, leaving the site in its current state is arguably a greater harm to the general public and the neighbors as it is an eyesore and potential nuisance requiring continual de-watering. Given the facts and circumstances, this would appear to be the exact reason the City Council included a waiver process in the moratorium - - to avoid harm to someone who was already deep into the permitting process but unaware they would be impacted by the moratorium. With that in mind, there is little basis for the Council not to grant the waiver request and allow the Applicants to move forward with the project at this time.

We note that there was a rock chipping permit for 183 Forest Avenue that ended on May 27, 2022, which is within 1,000 feet from the Subject Property. The Applicants are not seeking a waiver from Section 2.C of Local Law No. 5 of 2022 prohibiting a rock removal permit from being issued within thirty (30) days for a property within a 1,000 foot radius of another property. Accordingly, if the City Council were inclined to issue a waiver, the earliest the Applicants would commence rock removal activities would be June 27, 2022.

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- 2. The project's harmony (or lack thereof) with the existing character of the community as a whole and the area of the community in which the property is located.**

The project is harmonious with the existing character of the community of the community as a whole and the area of the community in which the property is located. The Subject Property is located in the R-1 Single Family Residence District and the project is entirely zoning compliant. The project is in size and scale with other residences in the area was approved by the Board of Architectural Review at the first meeting it was heard on September 27, 2021. A copy of the plans approved architectural plans is attached hereto as Exhibit 3.

- 3. Whether the application for which the relief is requested is consistent with any recommendations, or conclusions which may be drawn at the time of the public hearing from the aforementioned City Council's review and study.**

The Applicants are prepared to respond to any recommendations or conclusions drawn at the time of the public hearing.

- 4. Whether the applicant is in compliance with all other City Code requirements with respect to its City's operations.**

The Applicant is in compliance with all other City Code requirements with respect to its City's operations. The Applicant has received all necessary permits and approvals required for the project but for a rock removal permit.

- 5. Whether the application for which the relief is requested is consistent with any proposed regulations, if and as such may exist at the time of the public hearing.**

To the best of the Applicants' knowledge, there are no proposed regulations concerning the subject matter of the moratorium.

Conclusion

As noted above, due to the extent of the required rock removal to complete the project it would be virtually impossible for the Applicants to complete the rock removal within fifteen (15) calendar days with rock hammering (which amounts to a maximum of eleven (11) working days). However, the Applicant is confident the rock removal could be completed within thirty-eight (38) calendar days with rock hammering or within fifteen (15) calendar days via drilling and blasting.

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Accordingly, the Applicants' respectfully request that given the circumstances surrounding the project and the length of time the project was under review by the City staff and consultants prior to the adoption of the moratorium, that the City Council grant the requested waiver for either the allowable time period for rock removal or to permit blasting to be utilized.

Thank you for your consideration of this request.

Very truly yours,
HARFENIST KRAUT & PERLSTEIN, LLP

By: *Leo K. Napior*
Leo K. Napior

EXHIBIT 1





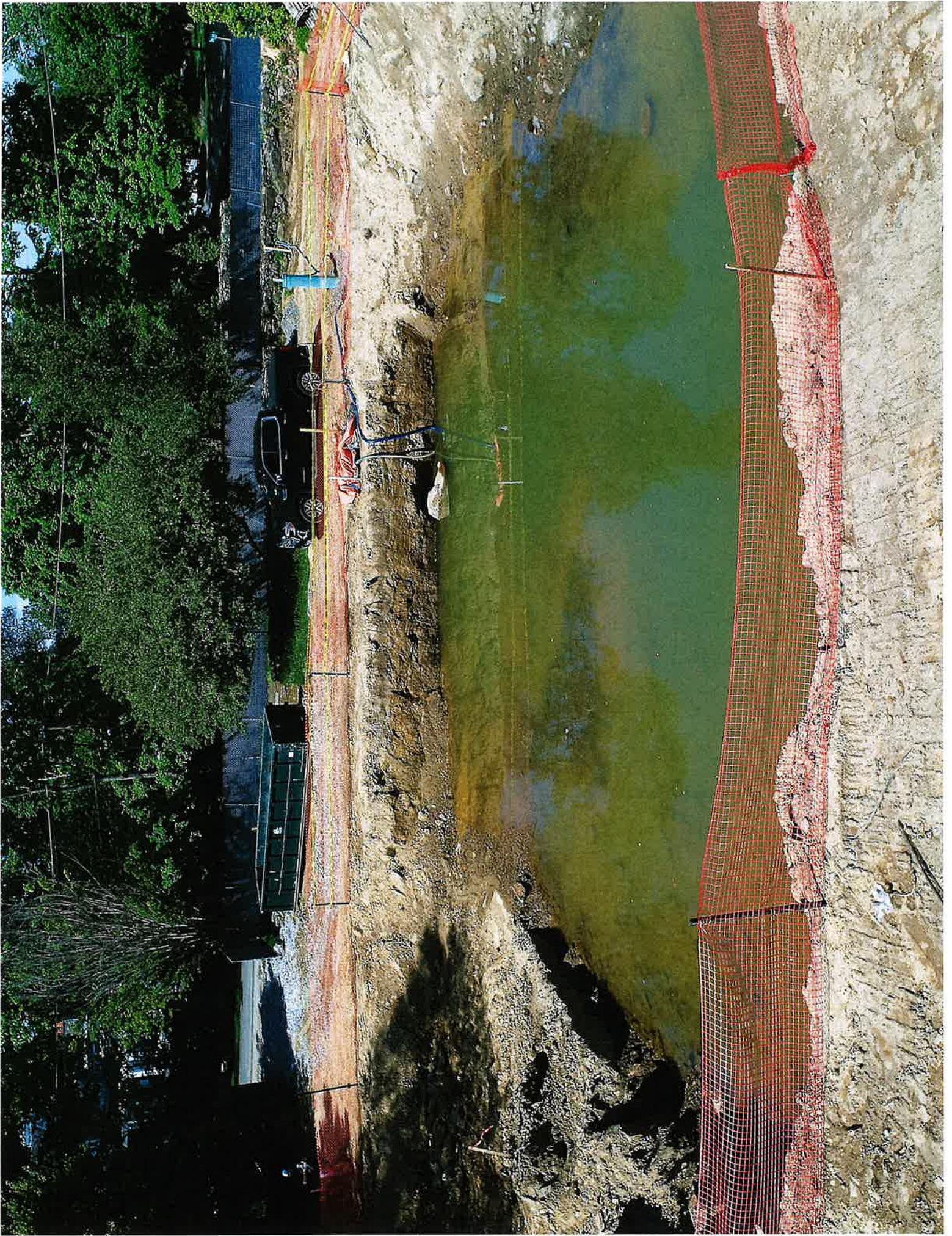




EXHIBIT 2

THE INDICATED ELEVATIONS ARE APPROXIMATE AND FOR REFERENCE PURPOSES ONLY. ESTIMATED AMOUNT OF ROCK REMOVAL WAS ROUNDED TO THE NEAREST WHOLE NUMBER



TERRACE (42" BELOW GRADE MIN.)

APPROXIMATE HOUSE FOOTPRINT

GARAGE (42" BELOW GRADE MIN.)

TOP OF SLAB SET AT 34'-7" +/- WITH A MONOLITHIC HYDRO SLAB AND UNDERSLAB DRAINAGE WE ARE TARGETING ELEVATION 32'-4" AS BOTTOM OF EXCAVATION

EXHIBIT 3



79 MANURSING AVENUE

RYE, NEW YORK 10580

ARCHITECTURAL ABBREVIATIONS

AC	AIR CONDITIONING	HB	HOSE BID	SH	SHELF
ADJ	ADJUSTABLE	RWH	NOT WATER HEATER	SS	STAINLESS STEEL
AF	ADOVE FINISH FLOOR	HR	HEADER	SYM	SYMMETRICAL
BF	BOILER FUEL	HTR	HARDWARE		
BO	BOTTOM OF	HT	HEIGHT	TB	TONEL BAR
BOR	BEDROOM	HTB	HEATED TONEL BAR	TBD	TO BE DETERMINED
BUDS	BUILDING	HIS	HEATING	TD	TOP OF
BLKS	BLOCKING	HVAC	HEAT & AIR CONDITIONER	TP	TOILET PAPER
BHMT	BASEMENT	ID	INSIDE DIAMETER	TV	TELEVISION
CB	CATCH BASIN	KIT	KITCHEN	T & G	TONGUE & GROOVE
C.J.	CONTROL JOINT	LEG	LEAD COATED COPPER	TELE	TELEPHONE
CAB	CABINET	LAM	LAMINATE	TYP	TYPICAL
CLG	CEILING	LAV	LAVATORY		
CLM	COLUMN	LIB	LIBRARY	UON	UNLESS OTHERWISE NOTED
CONC	CONCRETE	MO	MASONRY OPENING	VER	VERIFY IN FIELD
CTR	COUNTER	MAX	MAXIMUM	VERT	VERTICAL
DS	DISHWASHER	MIN	MINIMUM	VEST	VESTIBULE
DM	DISHWASHER	NE	NOT ELECTRIFIED		
DBL	DOUBLE	NA	NOT APPLICABLE	NV	NTH
DRM	DOWN	W/C	NOT IN CONTRACT	NM	NAIL TO MALL
DR	DOOR	NTS	NOT TO SCALE	NP	WATERPROOF
E.J.	EXPANSION JOINT	OG	ON CENTER	PP	MELDED WIRE FABRIC
ELEV	ELEVATION	OD	OUTSIDE DIAMETER	PC	PATENT CLOSET
EG	EQUAL	OP	OPENING	PO	NOOD
EX	EXISTING TO REMAIN	PL	PLASTER		
EXIST	EXISTING	PL LAM	PLASTIC LAMINATE		
F.B.O	FURNISHED BY OWNER	PL	POLISHED		
F.D	FLOOR DRAIN	PLY	PLYWOOD		
F.D	FACE OF	R	RADIUS		
FS	FULL SIZE	R.D	ROOF DRAIN		
FDN	FOUNDATION	R.O	ROUGH OPENING		
FN	FINISH	REQD	REQUIRED		
FLR	FLOOR	RH	ROOM		
FTG	FOOTING				
GWB	GYPSON WALL BOARD				

GRAPHIC LEGEND

	NETLANDS		CONCRETE		STONE OR MARBLE		PLYWOOD
	EARTH OR COMPACT FILL		CONCRETE BLOCK (CMU)		BRICK		ROUGH LUMBER
	POROUS FILL		STUCCO OR MORTAR		HARDWOOD		WOOD BLOCKING
					RIGID INSULATION		BATT. INSULATION

PROJECT TEAM:

OWNER
Tommaso & Michelle Addona

ARCHITECT
Robert A. Cardello Architects, LLC
60 Post Road West
Westport, CT 06880
Tel: (203) 853-2524

CONTRACTOR
Fletcher Development
320 Post Road, Suite 110
Darien, CT 06820
Tel: (203) 286-6166

CIVIL ENGINEER
Slevens Companies
Attn: Christopher Usching
65 Ralph Avenue
White Plains, NY 10606
Tel: (914) 341-7550

LANDSCAPE ARCHITECT
Eckerson Design Associates
21 Ann Street Unit AC/South
Norwalk, CT 06854
Tel: (203) 212-3679

SURVEYOR
TC Merritt Land Surveyors
314 Bedford Road
Plainville, NY 10510
Tel: (914) 769-8003

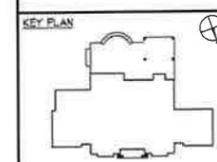
STRUCTURAL ENGINEER
Jacobson Structures, LLC
163 Kalsay Hill Road
Deep River, CT 06417
Tel: (860) 575-3172

INTERIOR DESIGNER
Daniel Romanoff Design
33 Harbor Blvd
East Hampton, NY 11931
Tel: (516) 648-4524

Architecturals	DRAWING LIST/ DATE AND ISSUE LIST	Consultants	DRAWING LIST/ DATE AND ISSUE LIST																										
	<table border="1"> <tr><td>JUNE 6, 2021</td><td>CLIENT REVIEW - REVISED DD</td></tr> <tr><td>MAY 7, 2021</td><td>CLIENT REVIEW - REVISED DD</td></tr> <tr><td>AUGUST 9, 2021</td><td>CLIENT REVIEW - REVISED DD</td></tr> <tr><td>SEPTEMBER 10, 2021</td><td>VALUE ENGINEERING ITEMS</td></tr> <tr><td>PROGRESS SET</td><td></td></tr> <tr><td>SEPTEMBER 14, 2021</td><td>ARCHITECTURAL REVISION BOARD</td></tr> <tr><td>NOVEMBER 24, 2021</td><td>ISSUED FOR CONSTRUCTION</td></tr> </table>		JUNE 6, 2021	CLIENT REVIEW - REVISED DD	MAY 7, 2021	CLIENT REVIEW - REVISED DD	AUGUST 9, 2021	CLIENT REVIEW - REVISED DD	SEPTEMBER 10, 2021	VALUE ENGINEERING ITEMS	PROGRESS SET		SEPTEMBER 14, 2021	ARCHITECTURAL REVISION BOARD	NOVEMBER 24, 2021	ISSUED FOR CONSTRUCTION	<table border="1"> <tr><td>JUNE 6, 2021</td><td>CLIENT REVIEW - REVISED DD</td></tr> <tr><td>MAY 7, 2021</td><td>CLIENT REVIEW - REVISED DD</td></tr> <tr><td>AUGUST 9, 2021</td><td>CLIENT REVIEW - REVISED DD</td></tr> <tr><td>SEPTEMBER 10, 2021</td><td>VALUE ENGINEERING ITEMS</td></tr> <tr><td>PROGRESS SET</td><td></td></tr> <tr><td>SEPTEMBER 14, 2021</td><td>ARCHITECTURAL REVISION BOARD</td></tr> <tr><td>NOVEMBER 24, 2021</td><td>ISSUED FOR CONSTRUCTION</td></tr> </table>	JUNE 6, 2021	CLIENT REVIEW - REVISED DD	MAY 7, 2021	CLIENT REVIEW - REVISED DD	AUGUST 9, 2021	CLIENT REVIEW - REVISED DD	SEPTEMBER 10, 2021	VALUE ENGINEERING ITEMS	PROGRESS SET		SEPTEMBER 14, 2021	ARCHITECTURAL REVISION BOARD
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SEPTEMBER 14, 2021	ARCHITECTURAL REVISION BOARD																												
NOVEMBER 24, 2021	ISSUED FOR CONSTRUCTION																												
JUNE 6, 2021	CLIENT REVIEW - REVISED DD																												
MAY 7, 2021	CLIENT REVIEW - REVISED DD																												
AUGUST 9, 2021	CLIENT REVIEW - REVISED DD																												
SEPTEMBER 10, 2021	VALUE ENGINEERING ITEMS																												
PROGRESS SET																													
SEPTEMBER 14, 2021	ARCHITECTURAL REVISION BOARD																												
NOVEMBER 24, 2021	ISSUED FOR CONSTRUCTION																												

DRAWING SYMBOLS

	FLOOR PLAN	DRAWING TITLE		DETAIL REFERENCE, DRAWING AND SHEET NUMBER		NORTH ARROW
	ELEVATION REFERENCE, DRAWING AND SHEET NUMBER			DOOR TAG, DOOR NUMBER		DIMENSION LINE
	SECTION REFERENCE, DRAWING AND SHEET NUMBER			WINDOW TAG, WINDOW NUMBER		
	FIRST FLOOR			BEDROOM ROOM NAME & NUMBER		
	DATUM - CONTROL POINT					
	REVISION					



REVISIONS

NO USE #1 PRODUCTION OR DISSEMINATION MAY BE MADE OF THIS DRAWING AND THE CONCEPTS SET FORTH HEREIN WITHOUT THE WRITTEN CONSENT OF ROBERT A. CARDELLO ARCHITECTS

CLIENT / ADDRESS
ADDONA RESIDENCE
79 MANURSING AVENUE
RYE, NEW YORK 10580

NOTES
ISSUED FOR CONSTRUCTION
11.29.2021

DRAWN BY: DAVMB
CHECKED BY: KAC

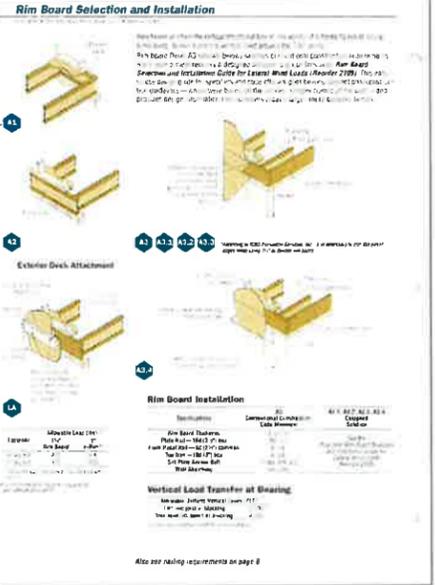
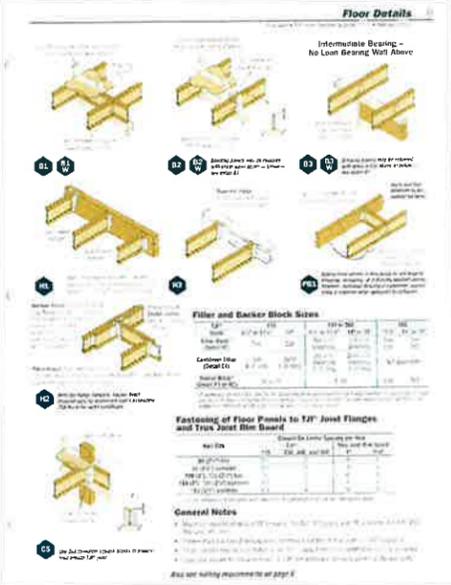
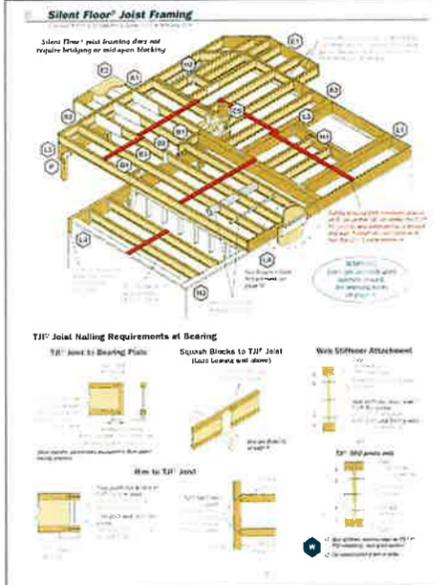
TITLE
COVER SHEET

STAMP AND SIGN **DRAWING #**

C-1.0

TJI PROCEDURES AND CONSTRUCTION INFORMATION

WINDOW / FLASHING DETAILS



Allowable Holes

Table A - End Support

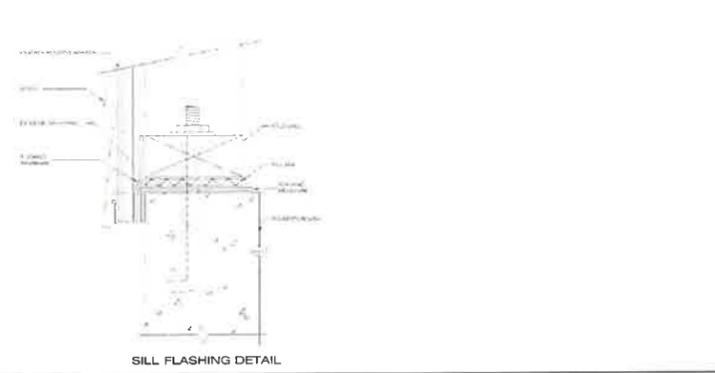
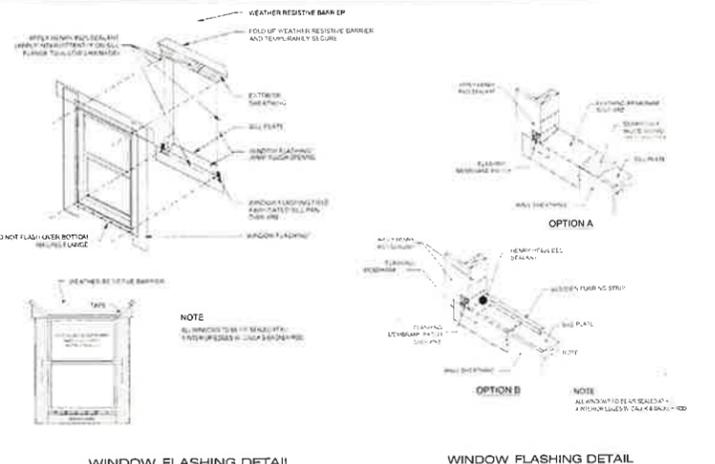
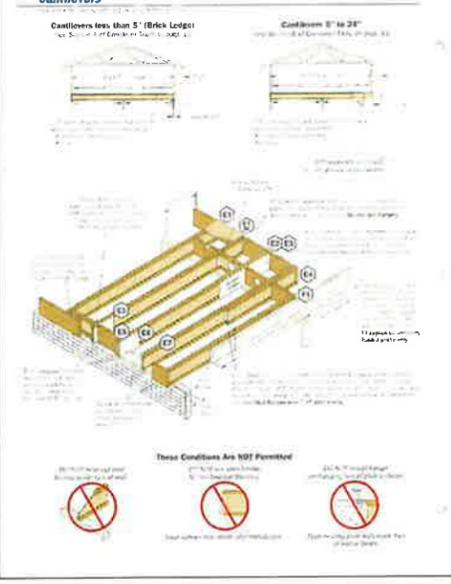
Depth	12"	16"	19.2"	24"
12"	12"	12"	12"	12"
16"	16"	16"	16"	16"
19.2"	19.2"	19.2"	19.2"	19.2"
24"	24"	24"	24"	24"

Table B - Intermediate or Cantilever Support

Depth	12"	16"	19.2"	24"
12"	12"	12"	12"	12"
16"	16"	16"	16"	16"
19.2"	19.2"	19.2"	19.2"	19.2"
24"	24"	24"	24"	24"

How to Use These Tables

General Notes

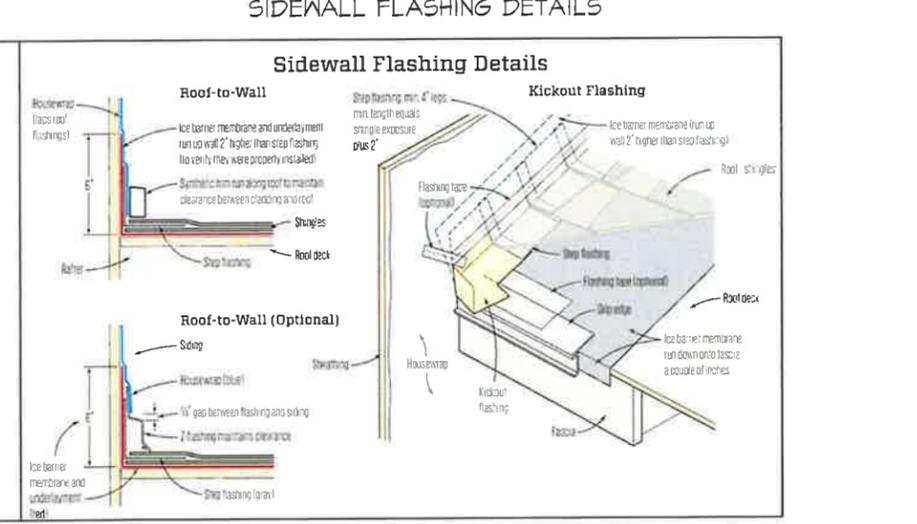
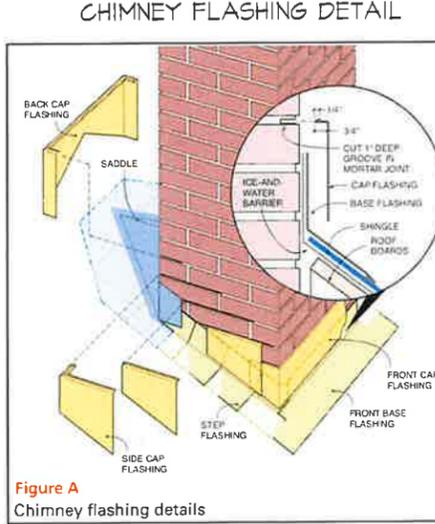


ZONING INFORMATION

ZONING TABLE: 100 DRAKE SMITH ROAD (AKA 14 MARSHING AVE) SECTION 14B12 BLOCK 2 LOT 2

RESOURCES	EXISTING	PROPOSED
RESIDENCE SINGLE FAMILY HOME	32,804.36 (15 ACRE)	32,804.36 (15 ACRE)
FLOOR AREA RATIO (5%)	1,640.22 SF	1,640.22 SF
BASEMENT	0 SF	0 SF
FIRST FLOOR	3,304 SF	3,304 SF
SECOND FLOOR	3,304 SF	3,304 SF
ACCESSORY STRUCTURE	0 SF	0 SF
FRONT YARD	30 FEET	30 FEET
SIDE YARD	30 FEET	30 FEET
REAR YARD	30 FEET	30 FEET
ACCESSORY	30 FEET	30 FEET
MAXIMUM HEIGHT (FEET)	32 FEET	32 FEET

NOTES



RESHECK

Generated by REScheck-Web Software

Compliance Certificate

Project: Addison Residence

Location: 8888 88th Ave, Richmond Hill, ON

Project Type: New Construction

Code Book: 2015 IBC

Calculation Date: 11/29/2021

Construction Set: 18

Envelope Assemblies

Assembly	U-Value	R-Value	Req. U-Value	Req. R-Value
Roof - 12" Insulation	0.04	25.0	0.04	25.0
Roof - 12" Insulation + Membrane	0.03	30.0	0.03	30.0
Roof - 12" Insulation + Membrane + Gypsum	0.02	35.0	0.02	35.0
Roof - 12" Insulation + Membrane + Gypsum + Sheetrock	0.01	40.0	0.01	40.0
Roof - 12" Insulation + Membrane + Gypsum + Sheetrock + Vapor Barrier	0.01	40.0	0.01	40.0
Roof - 12" Insulation + Membrane + Gypsum + Sheetrock + Vapor Barrier + Radiant Barrier	0.01	40.0	0.01	40.0
Roof - 12" Insulation + Membrane + Gypsum + Sheetrock + Vapor Barrier + Radiant Barrier + Reflective Insulation	0.01	40.0	0.01	40.0
Roof - 12" Insulation + Membrane + Gypsum + Sheetrock + Vapor Barrier + Radiant Barrier + Reflective Insulation + Radiant Barrier	0.01	40.0	0.01	40.0
Roof - 12" Insulation + Membrane + Gypsum + Sheetrock + Vapor Barrier + Radiant Barrier + Reflective Insulation + Radiant Barrier + Radiant Barrier	0.01	40.0	0.01	40.0
Roof - 12" Insulation + Membrane + Gypsum + Sheetrock + Vapor Barrier + Radiant Barrier + Reflective Insulation + Radiant Barrier + Radiant Barrier + Radiant Barrier	0.01	40.0	0.01	40.0
Roof - 12" Insulation + Membrane + Gypsum + Sheetrock + Vapor Barrier + Radiant Barrier + Reflective Insulation + Radiant Barrier + Radiant Barrier + Radiant Barrier + Radiant Barrier	0.01	40.0	0.01	40.0

Stamp and Sign

DRAWING # C-1.1

KEY PLAN

REVISIONS

NO USE. IF PRODUCTION OR DIFFUSION MAY BE MADE OF THIS DRAWING AND THE CONCEPTS SET FORTH HEREIN WITHOUT THE WRITTEN CONSENT OF ROBERT A. CARDELLO ARCHITECTS.

CLIENT / ADDRESS
ADDONA RESIDENCE
79 MARSHING AVENUE
RYLE, NEW YORK 10580

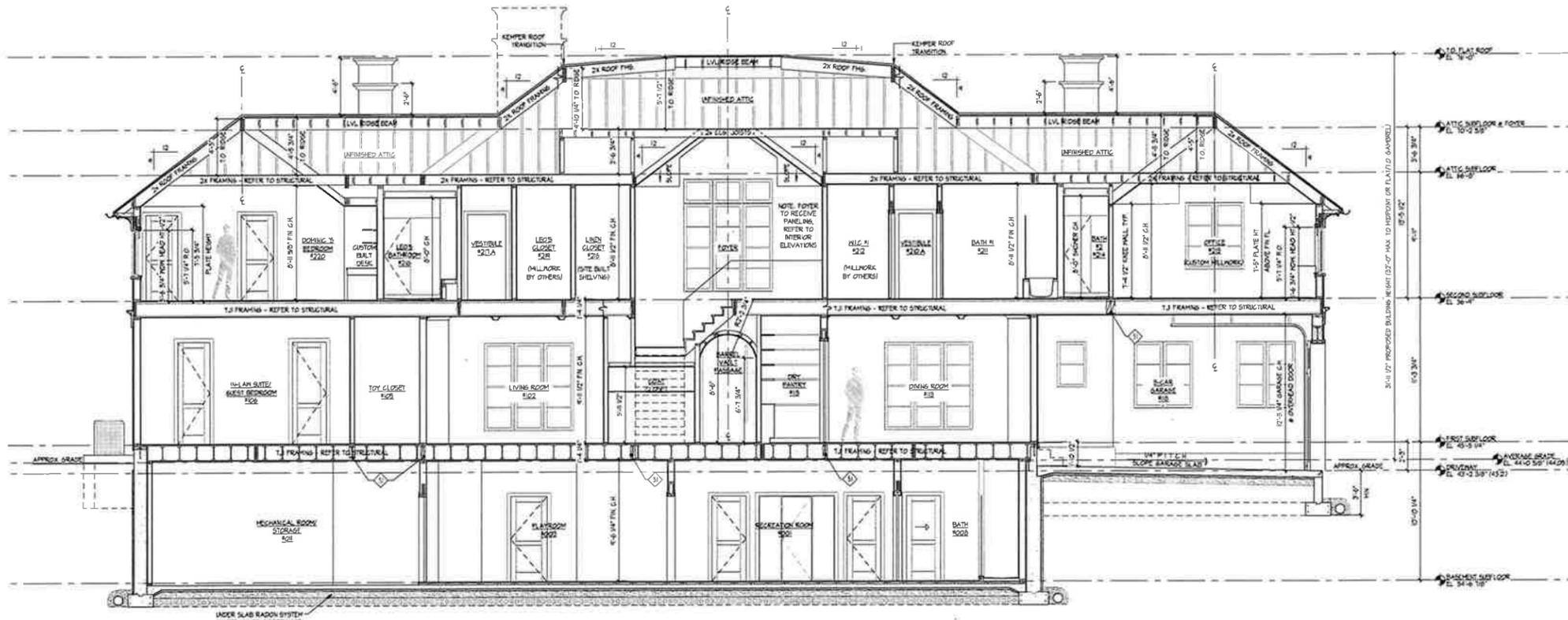
ISSUED FOR CONSTRUCTION
11.29.2021

DRAWN BY: DLAMB
CHECKED BY: RAC

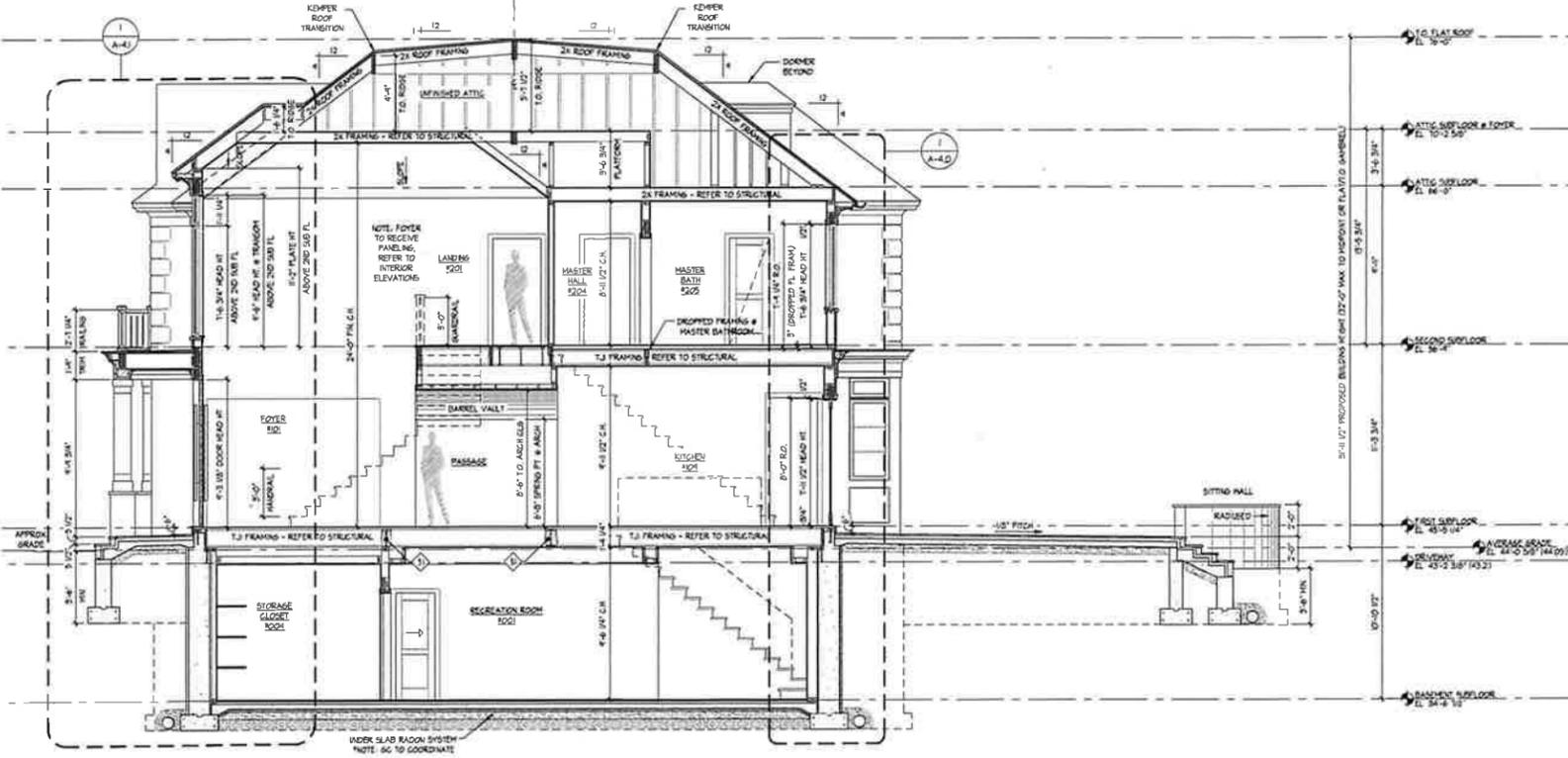
TITLE
WATERPROOFING DETAILS
RES CHECK, TJI PROCEDURES

STAMP AND SIGN

DRAWING # C-1.1



CROSS SECTION LOOKING NORTH
(LOG @ FOYER & RIDGE)



SECTION @ FOYER LOOKING EAST

WORK NOTES:

Notes shall be considered typical for items identified and shall apply to all items unless otherwise specified. All locations not noted shall be as shown. Contractor to bring construction materials to the attention of the architect prior to construction or installation of such items.

SECTION 05 - ROOFING:

- Roofing shall be installed to provide protection for new residence. Contractor to coordinate and obtain all permits and ridge appropriate structural steel necessary. An existing structure's features identified by owner to remain shall be protected to prevent damage.
- Existing masonry and concrete shall be repaired and/or replaced with new masonry and concrete as shown. Where applicable, masonry shall be repaired with masonry repair mortar. All masonry shall be repaired with masonry repair mortar. All masonry shall be repaired with masonry repair mortar.
- Roofing shall be installed to provide protection for new residence. Contractor to coordinate and obtain all permits and ridge appropriate structural steel necessary. An existing structure's features identified by owner to remain shall be protected to prevent damage.
- Existing masonry and concrete shall be repaired and/or replaced with new masonry and concrete as shown. Where applicable, masonry shall be repaired with masonry repair mortar. All masonry shall be repaired with masonry repair mortar.

SECTION 06 - INTERIORS:

- Interior finishes shall be installed to provide protection for new residence. Contractor to coordinate and obtain all permits and ridge appropriate structural steel necessary. An existing structure's features identified by owner to remain shall be protected to prevent damage.
- Existing masonry and concrete shall be repaired and/or replaced with new masonry and concrete as shown. Where applicable, masonry shall be repaired with masonry repair mortar. All masonry shall be repaired with masonry repair mortar.
- Roofing shall be installed to provide protection for new residence. Contractor to coordinate and obtain all permits and ridge appropriate structural steel necessary. An existing structure's features identified by owner to remain shall be protected to prevent damage.
- Existing masonry and concrete shall be repaired and/or replaced with new masonry and concrete as shown. Where applicable, masonry shall be repaired with masonry repair mortar. All masonry shall be repaired with masonry repair mortar.

SECTION 07 - MECHANICAL AND ELECTRICAL:

- Mechanical and electrical systems shall be installed to provide protection for new residence. Contractor to coordinate and obtain all permits and ridge appropriate structural steel necessary. An existing structure's features identified by owner to remain shall be protected to prevent damage.
- Existing masonry and concrete shall be repaired and/or replaced with new masonry and concrete as shown. Where applicable, masonry shall be repaired with masonry repair mortar. All masonry shall be repaired with masonry repair mortar.
- Roofing shall be installed to provide protection for new residence. Contractor to coordinate and obtain all permits and ridge appropriate structural steel necessary. An existing structure's features identified by owner to remain shall be protected to prevent damage.
- Existing masonry and concrete shall be repaired and/or replaced with new masonry and concrete as shown. Where applicable, masonry shall be repaired with masonry repair mortar. All masonry shall be repaired with masonry repair mortar.

SECTION 08 - FINISHES:

- Interior finishes shall be installed to provide protection for new residence. Contractor to coordinate and obtain all permits and ridge appropriate structural steel necessary. An existing structure's features identified by owner to remain shall be protected to prevent damage.
- Existing masonry and concrete shall be repaired and/or replaced with new masonry and concrete as shown. Where applicable, masonry shall be repaired with masonry repair mortar. All masonry shall be repaired with masonry repair mortar.
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- Existing masonry and concrete shall be repaired and/or replaced with new masonry and concrete as shown. Where applicable, masonry shall be repaired with masonry repair mortar. All masonry shall be repaired with masonry repair mortar.

SECTION 09 - EXTERIOR:

- Exterior finishes shall be installed to provide protection for new residence. Contractor to coordinate and obtain all permits and ridge appropriate structural steel necessary. An existing structure's features identified by owner to remain shall be protected to prevent damage.
- Existing masonry and concrete shall be repaired and/or replaced with new masonry and concrete as shown. Where applicable, masonry shall be repaired with masonry repair mortar. All masonry shall be repaired with masonry repair mortar.
- Roofing shall be installed to provide protection for new residence. Contractor to coordinate and obtain all permits and ridge appropriate structural steel necessary. An existing structure's features identified by owner to remain shall be protected to prevent damage.
- Existing masonry and concrete shall be repaired and/or replaced with new masonry and concrete as shown. Where applicable, masonry shall be repaired with masonry repair mortar. All masonry shall be repaired with masonry repair mortar.

KEY PLAN:

REVISIONS:

NO USE, REPRODUCTION OR DISSEMINATION MAY BE MADE OF THIS DRAWING AND THE CONCEPTS HEREIN WITHOUT THE PRIOR WRITTEN CONSENT OF ROBERT A. CARDELLI ARCHITECTS
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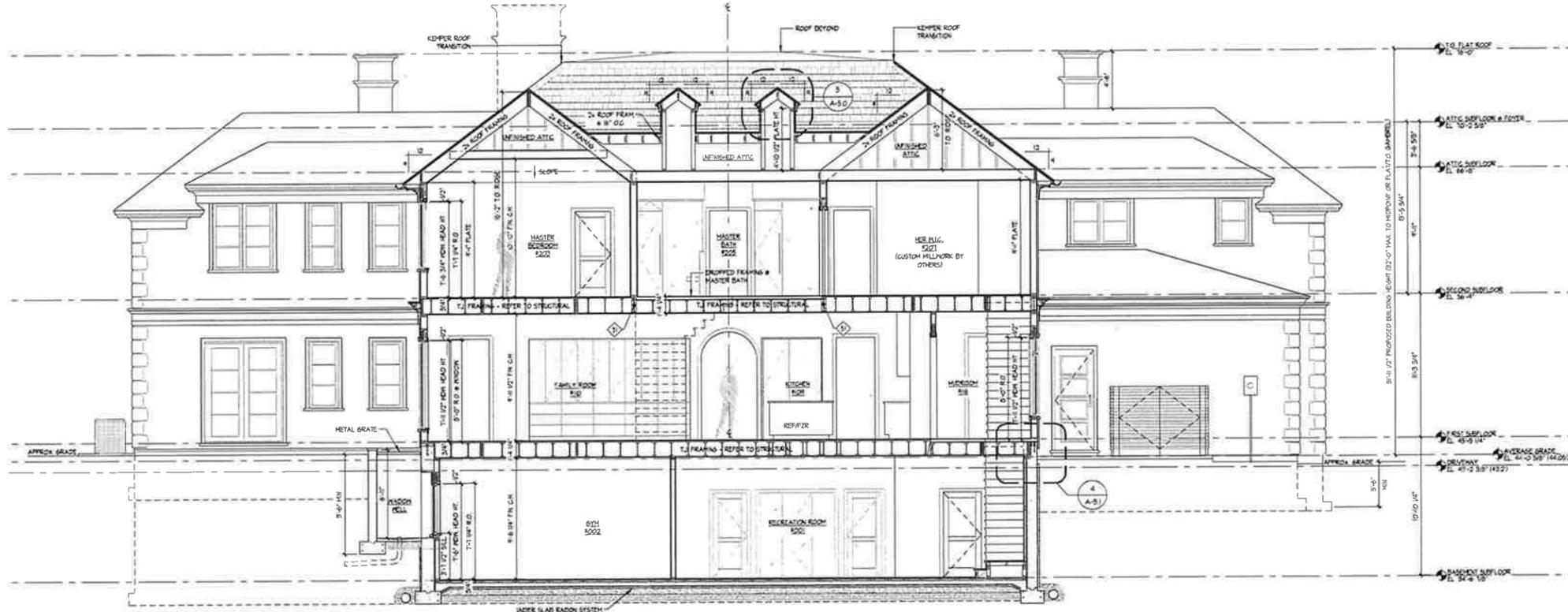
CLIENT ADDRESS:
ADDONA RESIDENCE
79 MANHURRING AVENUE
RYE, NEW YORK, 10580

ISSUED FOR CONSTRUCTION
11.29.2021

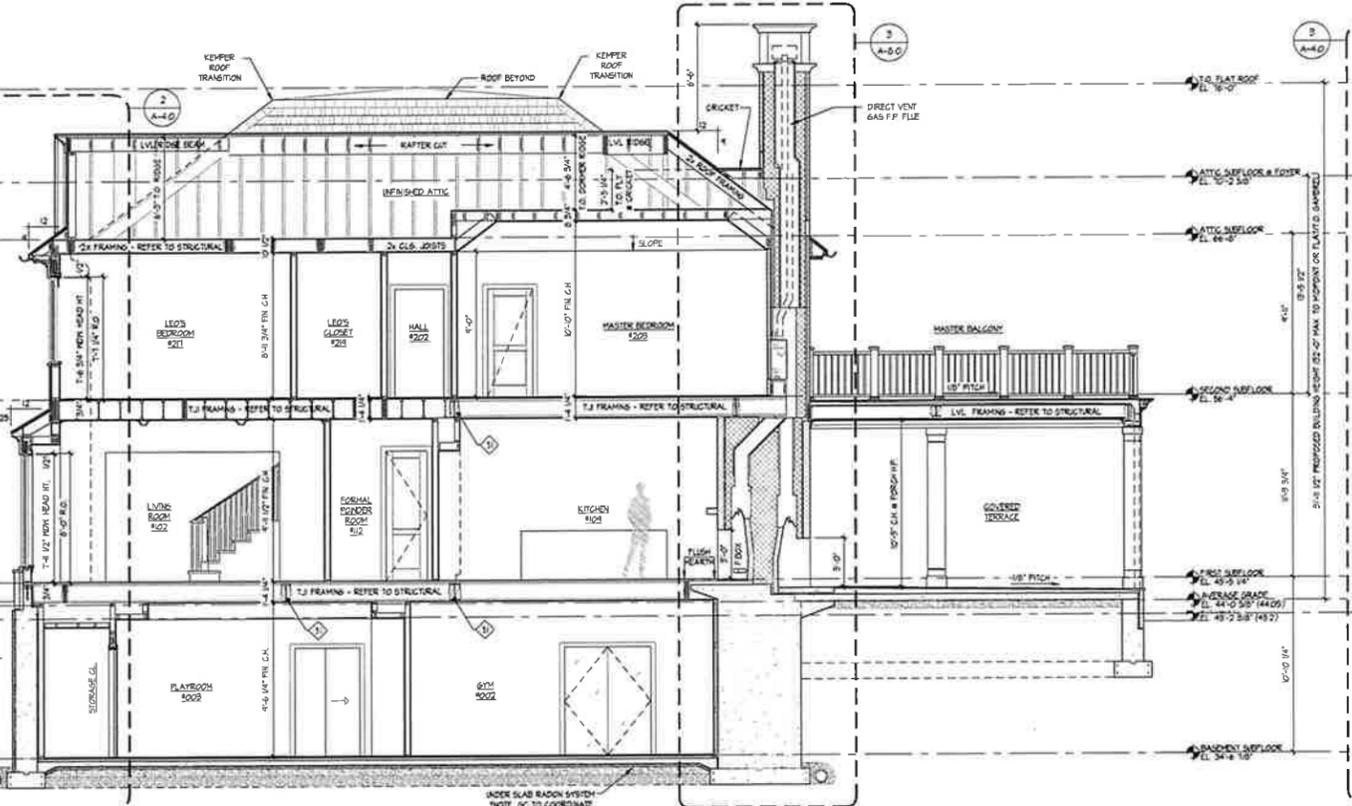
DRAWN BY: BLAND
CHECKED BY: RAC

TITLE: BUILDING SECTIONS

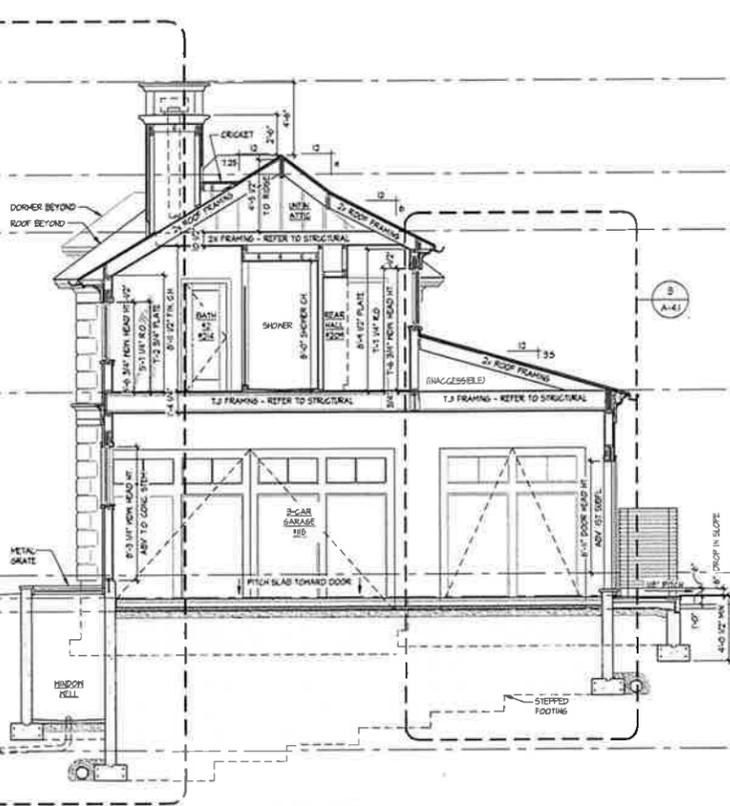
STAMP AND SIGN: DRAWING # **A-3.0**



SECTION LOOKING NORTH @ MASTER SUITE
 (A-3) (1/4"=1'-0")



SECTION LOOKING EAST @ KITCHEN
 (A-3) (1/4"=1'-0")



GARAGE SECTION
 (A-3) (1/4"=1'-0")

WORK NOTES

Notes shall be considered typical for items identified and will apply at all sites and similar conditions unless otherwise noted. Contractor to bring surrounding conditions to the attention of the architect prior to construction.

GENERAL NOTES

1. Project has been designed in accordance with International Residential Code (IRC) 2009 with all amendments.
2. Existing house to be demolished to ground level for new residence. Contractor to coordinate with utility companies and village appropriate officials with necessary approvals. Existing structures to be demolished by owner to remain until protected to greatest extent possible.
3. Existing utilities and services to be capped and/or protected. Contractor to determine bearing capacity of soil and provide appropriate foundation design. All foundation work shall be in accordance with applicable building codes and approved engineering documents.
4. Foundation work shall be completed after house removal and prior to excavation to determine bearing capacity of soil. All foundation work shall be in accordance with applicable building codes and approved engineering documents. All foundation work shall be completed prior to construction of exterior walls.
5. See preparation. Provide all framing lines and notes and details as indicated by notes.
6. On site storage and temporary facilities to be reviewed with owner and approved by village.
7. See site development plan for underground cross-connections, proper lines, and utility service locations.
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REVISIONS

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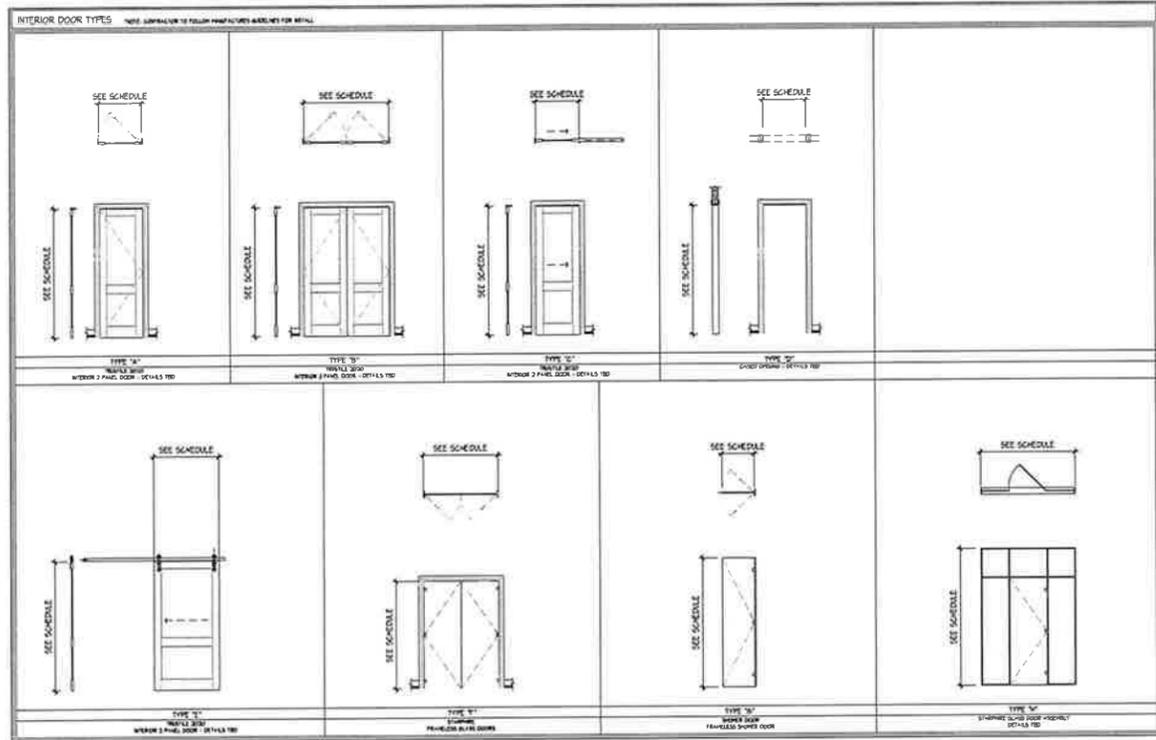
CLIENT / ADDRESS
 ADDONA RESIDENCE
 79 MANLIVING AVENUE
 RYE, NEW YORK 10580

ISSUED FOR CONSTRUCTION
 11.29.2021

DRAWN BY: DMBD
CHECKED BY: RAC

TITLE:
 BUILDING SECTIONS

STAMP AND SIGN **DRAWING #**
A-3.1



INTERIOR DOOR TYPES
A-6.2 1/4"=1'-0"

NUMBER	ROOM NAME	ROOM #	TYPE	LEAF SIZE	WIDTH	HEIGHT	MANUF.	MATERIAL	FINISH	OPERATION	REMARKS
BASMENT											
001	BASMENT	000	A	1'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
002	ELECTRICAL ROOM	002	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
003	GYM	003	F	10'-0" X 8'-0"	6'-0"	8'-0"	STARPHIRE	GLASS	N/A	DOUBLE DOORS, SWAYING	TEMPERED
004	RECREATION ROOM	004	A	2'-0" X 8'-0"	3'-0"	8'-0"	N/A	N/A	N/A	SLAM DOOR, SLOTTED	
005	BATH	005	E	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	PRIVACY LATCH/RECEIVED CLIP PULL	
006	BATH	006	E	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	PRIVACY LATCH/RECEIVED CLIP PULL	
007	BATH	007	E	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	PRIVACY LATCH	
008	HALLWAY ROOM	008	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
009	W.C.	009	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
010	W.C. ROOM	010	A	2'-0" X 8'-0"	3'-0"	8'-0"	STARPHIRE	GLASS	N/A	DOUBLE ACTING	TEMPERED
011	STORAGE CLOSET	011	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
012	HALLWAY ROOM	012	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
013	STORAGE CLOSET	013	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
014	STORAGE CLOSET	014	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
015	STORAGE CLOSET	015	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
016	STORAGE CLOSET	016	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
017	STORAGE CLOSET	017	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
018	STORAGE CLOSET	018	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
019	STORAGE CLOSET	019	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
020	STORAGE CLOSET	020	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
021	STORAGE CLOSET	021	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
022	STORAGE CLOSET	022	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
023	STORAGE CLOSET	023	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
024	STORAGE CLOSET	024	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
025	STORAGE CLOSET	025	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
026	STORAGE CLOSET	026	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
027	STORAGE CLOSET	027	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
028	STORAGE CLOSET	028	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
029	STORAGE CLOSET	029	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
030	STORAGE CLOSET	030	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
031	STORAGE CLOSET	031	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
032	STORAGE CLOSET	032	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
033	STORAGE CLOSET	033	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
034	STORAGE CLOSET	034	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
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036	STORAGE CLOSET	036	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
037	STORAGE CLOSET	037	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
038	STORAGE CLOSET	038	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
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040	STORAGE CLOSET	040	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
041	STORAGE CLOSET	041	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
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043	STORAGE CLOSET	043	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
044	STORAGE CLOSET	044	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
045	STORAGE CLOSET	045	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
046	STORAGE CLOSET	046	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
047	STORAGE CLOSET	047	A	2'-0" X 8'-0"	3'-0"	8'-0"	TRUSTILE	WOOD	PRIMED	IN SWINGING	
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INTERIOR DOOR SCHEDULE
A-6.2 1/4"=1'-0"

GENERAL NOTE FOR WINDOWS AND DOORS:
 ALL DOORS AND WINDOWS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
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ROSK NOTES:
 Notes shall be conventional unless otherwise noted and shall apply to all items and materials, all materials shall be used. Contractor to bring satisfactory evidence to the satisfaction of the architect prior to construction.
 ALL DOORS AND WINDOWS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
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KEY PLAN:
 A site plan showing the location of the building and the location of the interior door schedule. The key plan includes a north arrow and a scale of 1/4"=1'-0".

ELECTRICAL SCHEDULE (ROUND): CONTRACTOR TO VERIFY SPEC'S WITH OWNER

SYMBOL	DESCRIPTION	FUTURE MANUFACTURER/MODEL / LIGHT FIXTURE	MANUFACTURER/TRIM #	NOTES: LED, COLOR TEMP 2700K-VARY BY OWNER
A	3" RECESSED ROUND DOWNLIGHT	ELEMENT - LED - ESR-LH-4H-2700-4-1" or N DEPENDS ON IG OR NOT	ELEMENT ROUND FLANGED ESR-LH-4H-1"	LED, COLOR TEMP 2700K, 17 MATTS
B	3" RECESSED ROUND ADJUSTABLE DOWNLIGHT	ELEMENT - LED - ESR-LH-4H-2700-4-1" or N DEPENDS ON IG OR NOT	ELEMENT ROUND FLANGED ESR-LH-4H-1"	LED, COLOR TEMP 2700K, 17 MATTS
C	3" RECESSED ROUND ADJ. SLOPED CEILING	ELEMENT - LED - ESR-LH-4H-2700-4-1" or N DEPENDS ON IG OR NOT	ELEMENT ROUND FLANGED ESR-LH-4H-1"	LED, COLOR TEMP 2700K, 17 MATTS
D	3" RECESSED ROUND ADJ. SLOPED CEILING	ELEMENT - LED - ESR-LH-4H-2700-4-1" or N DEPENDS ON IG OR NOT	ELEMENT ROUND FLANGED ESR-LH-4H-1"	LED, COLOR TEMP 2700K, 17 MATTS
E	3" RECESSED ROUND ADJ. SLOPED CEILING	ELEMENT - LED - ESR-LH-4H-2700-4-1" or N DEPENDS ON IG OR NOT	ELEMENT ROUND FLANGED ESR-LH-4H-1"	LED, COLOR TEMP 2700K, 17 MATTS
EF	EXHAUST FAN	FANTECH KEDATE FAN WITH LIGHTED TRIM SWITCHES	-	-
F	2" ROUND ACCENT LIGHT	ELEMENT - LED - ESR-LH-4H-2700-2-1" or N DEPENDS ON IG OR NOT	-	LED, COLOR TEMP 2700K, 18 MATTS
G	GLOSET LIGHT W/ JAMB SWITCH	LED STRIP LIGHT MOUNTED ABOVE DOOR	-	LED, COLOR TEMP 2700K, 18 MATTS
H	LINEAR FLUORESCENT	PROGRESS LIGHTING - F18T5-067W (VERIFY LENGTH)	WHITE ACRYLIC DIFFUSER - INCLUDED (VERIFY FINISH IN ARCH)	Q2 T8 T8 FT
J	HANING/DECORATIVE FIXTURE-BY OWNER	T.B.D. BY OWNER	T.B.D. BY OWNER	-
K	INTERIOR WALL SCENE	T.B.D. BY OWNER	T.B.D. BY OWNER	-
L	INTERIOR WALL SCENE	T.B.D. BY OWNER	T.B.D. BY OWNER	-
M	SURFACE MOUNTED FIXTURE/PENDANT	T.B.D. BY OWNER	T.B.D. BY OWNER	-
N	UNDER CABINET	64"-LED TAPE INSTALL IN LINED ALUMINUM CHANNEL LED-CA-0	VERIFY FINISH IN ARCH	LED
FB	FORGELAN BULB IN SOCKET	-	-	-
G	TAPERED IN STEIN WALL LIGHT	MAC LIGHTING - JL-LED2007-WHT-1T	MAC LIGHTING - FRAMELESS (SQUARE) FINISH - WHT (QNTD)	LED, WHITE COLOR TEMP, 3.5 MATTS
K	COVE	MAC INSH-LED PROS	MAC INSH-LED PROS	LED, COLOR TEMP 2700K, 3 MATTS
S	SPOT LIGHT	RAB - 545 BULLET 2X3 1/2 H. DIMEN HEAD MOTION HIGH OVERHEAD BREAKBACK	WHITE	-
T	EXTERIOR SOFFIT PLUCK LIGHT	HP LIGHTING - LSI-2-WT25-16-C-0-A-0-26	HP LIGHTING - LSI-2-WT25-16-C-0-A-0-26	LED, COLOR TEMP 2700K
U	EXTERIOR 3" RECESSED ROUND DOWNLIGHT	ELEMENT - LED - ESR-LH-4H-2700-4-1" or N DEPENDS ON IG OR NOT	ELEMENT ROUND FLANGED ESR-LH-4H-1"	LED, COLOR TEMP 2700K, 17 MATTS
V	3" RECESSED ROUND WALLWASHER	ELEMENT - LED - ESR-LH-4H-2700-4-1" or N DEPENDS ON IG OR NOT	ELEMENT ROUND FLANGED ESR-LH-4H-1"	LED, COLOR TEMP 2700K, 17 MATTS
X	OUTDOOR STEP LIGHT	MAC LIGHTING - JL-LED200-0-0-18-3 (FINISH TBD)	MAC LIGHTING	LED, WHITE COLOR TEMP, 3.8 MATTS
Y	IN-RIDGE UPLIGHT	HP LIGHTING - L502-2-450-114-A-0-4K-3 (FINISH TBD)	HP LIGHTING	LED, WHITE COLOR TEMP, 2.6 MATTS

GENERAL ELECTRICAL NOTES:

GENERAL ELECTRICAL NOTES:

- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.
- ALL ELECTRICAL WORK SHALL BE PERFORMED AS DESCRIBED ON DRAWINGS & COMPLY WITH ALL APPLICABLE CODES, FEDERAL, STATE & LOCAL.
- ANY CODE CONFLICTS ARE TO BE REVIEWED PRIOR TO INSTALLATION WITH ARCHITECT/OWNER. SPECIFICALLY, KITCHEN OUTLET LOCATIONS NEAR SINKS AND ISLANDS AS WELL AS GLOBE/BATH FIXTURES WHICH MAY BE DEGRADATIVE.
- CONTRACTOR TO VERIFY ELECTRICAL SERVICE SIZE AND NOTIFY ARCHITECT IF ADDITIONAL SERVICE AND/OR UPGRADE IS REQUIRED. "PAD" TRANSFORMER, CONTRACTOR SHALL REVEAL ALL ELECTRICAL LOCATIONS BEFORE FRAMING BEGINS AND INSTALL NEW FRAMING TO ALLOW ADEQUATE SPACE FOR FIXTURES. KEEP CENTERLINE OF HALLWAY, CENTER OF ROOMS 4" 2" OFF FROM WALLS CLEAR OF FRAMING FOR FIXTURE PLACEMENT.
- CONTRACTOR TO NOTIFY ARCHITECT PRIOR TO WORK IF THERE IS INTERFERENCE WITH ANY SPECIFIED LOCATION FOR ELECTRICAL. ARCHITECT SHALL RELOCATE IF REQUIRED.
- WHEN FIRST FLOOR DECK IS COMPLETE CONTRACTOR SHALL LAYOUT ALL LIGHTING, HVAC, & PLUMBING IN ORDER FOR FRAMER TO COORDINATE & ELIMINATE CONFLICTS. FIXTURE LOCATIONS TO BE INDICATED ON SUB-FLOOR SURFACES, AND TRANSFER SWITCH LOCATIONS TO BE DETERMINED WITH ARCHITECT/OWNER ON SITE.
- GENERATOR REQUIREMENTS TO BE REVIEWED PRIOR TO INSTALLATIONS TO DETERMINE IF SINGLE PHASE OR -PHASE DEVICES WILL BE PROVIDED SUCH AS HEATING, REFRIGERATION AND GENERAL LIGHTING. GENERATOR SIZE WILL BE DETERMINED BY THESE REQUIREMENTS IF NOT SPECIFIED WITHIN CONTRACT DOCUMENTS.

- RECORD STYLE DEVICES AND HEATED DIMMERS WITH SILENTLESS COVER PLATES TO BE INSTALLED UNLESS OTHERWISE NOTED TO BE CONFIRMED WITH OWNER/CONTRACTOR PRIOR TO INSTALL.
- INSTALL DIMMER SWITCHES AT ALL MAIN PUBLIC ROOM CIRCUITS AND MASTER SUITES INCLUDING GLOBE/BATH.
- FLOOR OUTLETS TO BE THIRMA 4 SETS OR EQUAL AND WILL BE LOCATED IN THE FIELD WITH OWNER.
- IC PLATINGS IN RECESSED LIGHTS UNDER NON-HEATED AREAS NOTIFY ARCHITECT FOR ANY INCONVENIENCES.
- CONTRACTOR SHALL PROVIDE AT LEAST ONE PORCELAIN SOCKET LIGHT AND ONE SWITCH IN EVERY ACCESSIBLE ATTIC AND CRAWL SPACE.
- SWITCHES IN FINISHED MILLWORK SHALL BE CENTERED IN THE FACE OF CABINETRY. ALLOW ROOMS HIRE FOR COORDINATION.
- INTERIOR ELEVATIONS TO STANDARD WOOD PANELED ROOMS TO BE BROWN # 10.
- SEE INTERIOR ELEVATIONS TO GRANOATED OUTLETS, SWITCHES, AND LIGHTING FIXTURES IN WALLS HERE: MUD PANELING IS APPLIED. CONSULT WITH ARCHITECT AND OWNER PRIOR TO INSTALL.
- INTERIOR OUTLETS LOCATED IN THE GARAGE SHALL BE 18" MINIMUM HEIGHT FROM FLOOR OR AS REQUIRED BY FEHA REGULATIONS IF PROPERTY IS LOCATED WITHIN A FLOOD ZONE AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED 40" ABOVE FINISH FLOOR. PROVIDE POWER TO ELECTRIC GARAGE DOOR OPENER. CONTRACTOR SHALL CONSULT PROVIDER FOR REQUIREMENTS.
- COMBINATION SMOKE/CO DETECTORS SHALL BE LOCATED IN THE CENTER OF DOOR 12" AWAY AND NO MORE THAN 60" FROM CENTER OF DOOR. PROVIDE SAMPLE AND CONSULT WITH ARCHITECT AND CLIENT PRIOR TO INSTALLATION.
- CONSULT OWNER REGARDING COORDINATION WITH ALARM SYSTEMS FOR HEAT, WATER, SMOKE AND C.G. DETECTION REQUIREMENTS.
- ALL DECORATIVE FIXTURES ARE PROVIDED BY OWNER. SPECIAL REQUIREMENTS FOR HEAVY FIXTURES AND SPECIALLY CASH PLATES TO BE COORDINATED PRIOR TO INSTALLATION.

WORK NOTES:
Notes shall be considered final for items identified and shall apply to all items and minor corrections of location. Notes shall be noted. Contractor to bring subcontractors to the attention of the architect prior to construction or change order.

GENERAL REQUIREMENTS:
1. Project has been designed according to 2000 International Residential Code (IRC) with amendments as applicable. Any code changes shall be noted on drawings.
2. Contractor shall be responsible to prepare drawings for new materials. Contractor to coordinate and obtain all permits and village approvals/effluent effluent necessary. NOTICE TO PROCEED shall be obtained from the local authority before any work is started. Contractor shall be responsible to provide temporary facilities where applicable. Owner shall be responsible for the cost of any utility work not shown on drawings.
3. See site plan for location of all existing work. Contractor shall be responsible for the cost of any utility work not shown on drawings.
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ROBERT A. CARDELLO
RAC
ARCHITECTURE + DESIGN

KEY PLAN
[Diagram showing the location of the second floor within the overall site plan.]

REVISIONS
NO USE, REPRODUCTION OR DISSEMINATION MAY BE MADE OF THIS DRAWING AND THE CONCEPTS SET FORTH HEREON WITHOUT THE WRITTEN CONSENT OF ROBERT A. CARDELLO ARCHITECTS

CLIENT ADDRESS
ADDONA RESIDENCE
79 MANHATTAN AVENUE
RTE. NEW YORK 10580

NOTES FOR CONSTRUCTION
11.29.2021

DRAWN BY ELIASH
CHECKED BY RAC

TITLE
SECOND FLOOR REFLECTED CEILING PLAN

STAMP AND SIGN [Signature area]
DRAWING # RCP-1.2

GENERAL MECHANICAL NOTES:

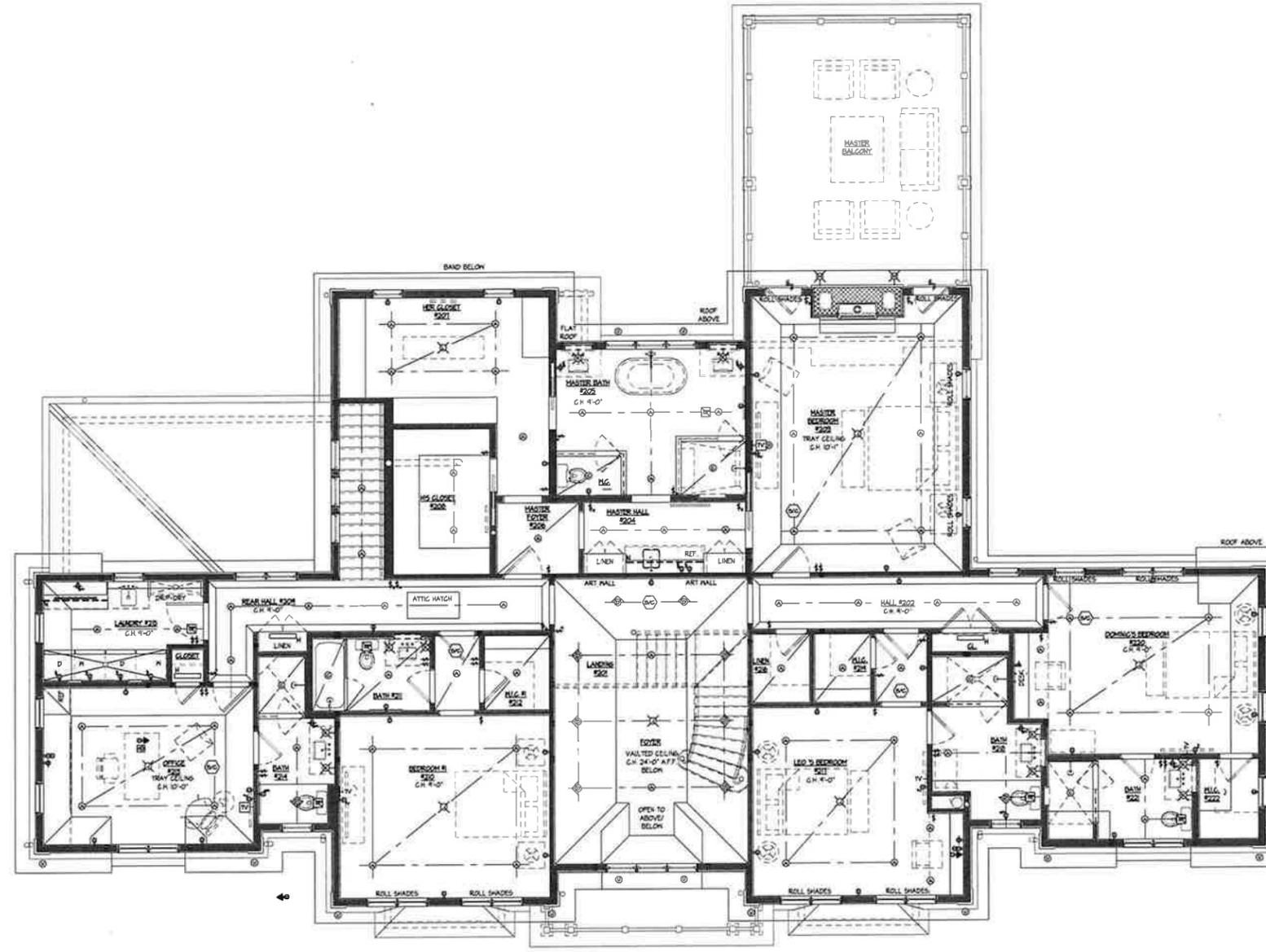
- ALL MECHANICAL WORK SHALL BE PERFORMED BY A LICENSED MECHANICAL CONTRACTOR IN STATE WORK IS PERFORMED.
- ALL MECHANICAL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, FEDERAL, STATE & LOCAL.
- ANY CODE CONFLICTS ARE TO BE REVIEWED PRIOR TO INSTALLATION WITH ARCHITECT/OWNER.
- CONTRACTOR SHALL REVEAL ALL MECHANICAL LOCATIONS BEFORE FRAMING BEGINS AND INSTALL NEW FRAMING TO ALLOW ADEQUATE SPACE FOR DUCTWORK/VENTS. KEEP CENTERLINE OF DOORS AND WINDOWS, 1" OFF FROM WALLS CLEAR OF FRAMING FOR FIXTURE PLACEMENT.
- CONTRACTOR TO NOTIFY ARCHITECT PRIOR TO WORK IF THERE IS INTERFERENCE WITH ANY SPECIFIED LOCATION FOR MECHANICAL. ARCHITECT SHALL RELOCATE IF REQUIRED.
- WHEN FIRST FLOOR DECK IS COMPLETE CONTRACTOR SHALL LAYOUT ALL LIGHTING, HVAC, & PLUMBING IN ORDER FOR FRAMER TO COORDINATE & ELIMINATE CONFLICTS. FIXTURE LOCATIONS TO BE INDICATED ON SUB-FLOOR SURFACES, AND TRANSFER SWITCH LOCATIONS TO BE DETERMINED WITH ARCHITECT/OWNER ON SITE.
- GENERATOR REQUIREMENTS TO BE REVIEWED PRIOR TO INSTALLATIONS TO DETERMINE IF SINGLE PHASE OR -PHASE DEVICES WILL BE PROVIDED SUCH AS HEATING, REFRIGERATION AND GENERAL LIGHTING. GENERATOR SIZE WILL BE DETERMINED BY THESE REQUIREMENTS IF NOT SPECIFIED WITHIN CONTRACT DOCUMENTS.

ELECTRICAL SYMBOL LIST:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	DUPLEX RECEPTACLE OUTLET	[Symbol]	NEW THERMOSTAT PANEL
[Symbol]	COMBINATION DUPLEX REC. OUTLET	[Symbol]	PROPANE DETECTOR
[Symbol]	APPLIANCE DUPLEX RECEPTACLE OUTLET	[Symbol]	KEYPAD CONTROL PANEL
[Symbol]	TELEVISION RECEPTACLE OUTLET	[Symbol]	AUDIO CONTROL PANEL
[Symbol]	SWITCHED DUPLEX RECEPTACLE OUTLET	[Symbol]	ELECTRICAL METER
[Symbol]	DIAP. RECEPTACLE OUTLET	[Symbol]	ELECTRICAL PANEL
[Symbol]	EXTERIOR HEAVY DUTY INTERCOMER OUTLET	[Symbol]	SIDE MOUNT GARAGE DOOR OPERATOR
[Symbol]	EXTERIOR HEAVY DUTY INTERCOMER OUTLET	[Symbol]	GARAGE FLUORESCENT LIGHT
[Symbol]	FLOOR RECEPTACLE OUTLET	[Symbol]	SURFACE MOUNTED CEILING LIGHT
[Symbol]	SINGLE POLE SWITCH	[Symbol]	PENDANT MOUNTED CEILING LIGHT
[Symbol]	3 WAY SWITCH	[Symbol]	HALL MOUNTED LIGHT
[Symbol]	JAMB SWITCH	[Symbol]	EXTERIOR WALL MOUNTED LIGHT
[Symbol]	DIMMER SWITCH	[Symbol]	RECESSED LIGHT
[Symbol]	GARAGE DOOR OPERATOR SWITCH	[Symbol]	ADJUSTABLE/REGIONAL LIGHT

ELECTRICAL SYMBOL LIST CONT.:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	WATERPROOF SWITCH	[Symbol]	PIN LIGHT
[Symbol]	NEW TELEPHONE JACK (CAT 6)	[Symbol]	GLOSET FLUORESCENT LIGHT
[Symbol]	CABLE TV OUTLET (CAT 6)	[Symbol]	LINEAR UNDER-CAB LIGHT
[Symbol]	SHOCK/ARC/FAULT MONITORING DETECTOR	[Symbol]	CONTACTLESS PLUG/POLE LIGHT
[Symbol]	HEAT DETECTOR	[Symbol]	GOVE LIGHT
[Symbol]	VARIABLE SPEED CEILING FAN	[Symbol]	STEP LIGHT
		[Symbol]	FLOOD LIGHT



SECOND FLOOR REFLECTED CEILING PLAN



CITY COUNCIL AGENDA

DEPT.: City Manager

DATE: June 8, 2022

CONTACT: Greg Usry, City Manager

AGENDA ITEM: Consideration to refer to the BAR an application from DISH Wireless, LLC to modify an existing support structure for the installation of wireless communication equipment to support the 5G connectivity needs of residents, businesses, and first responders.

FOR THE MEETING OF:

June 15, 2022

RECOMMENDATION: That the Council consider referring the application to the BAR.

IMPACT: Environmental Fiscal Neighborhood Other:

BACKGROUND:

All wireless telecommunications facilities within the City must comply with Chapter 196 "Wireless Telecommunications Facilities" of the City Code and all other applicable law and regulations. All wireless telecommunications facilities (including modifications), or construction, modification or replacement of support structures in connection with the installation of wireless telecommunications facilities must be permitted by a special use permit, special exception permit or eligible facility permit. Before the Council considers this application, the Council shall refer it to the Board of Architectural Review for and advisory opinion.



May 19, 2022

VIA EMAIL: building@ryeny.gov

City of Rye, NY
Attn: Building Department
1051 Boston Post Road
Rye, NY 10580

RE: [NJJER01023C / 66 Milton Road, Rye, NY 10580] Eligible Facilities Request

Dear Construction Department:

On behalf of DISH Wireless L.L.C. (“DISH Wireless”), we are submitting an Eligible Facilities Request (“EFR”) to modify an existing support structure pursuant to Section 6409(a) of the Middle-Class Tax Relief and Job Creation Act of 2012 (“Spectrum Act”) and the rules of the Federal Communications Commission (“FCC”). *See* Pub. Law No. 112-96, 126 Stat. 156 (2012); 47 C.F.R. §1.6100.

Specifically, as it moves to deploy a new 5G broadband network, DISH Wireless is proposing to collocate 3 antennas, 6 remote radio units “RRUS,” 3 OVP Devices and 6 hybrid cables on 3 pipe mounts to the existing rooftop telecommunication facility at the centerlines of 92’-6” and 99’-6”” (the “Request”). This project will help support the 5G connectivity needs of residents, businesses, and first responders. DISH Wireless looks forward to working cooperatively with you to advance these important efforts in your community.

This Request is governed by Section 6409(a) of Spectrum Act which, as you may know, provides that state and local governments “may not deny, and shall approve” any EFR to modify an existing wireless tower or base station that does not “substantially change the physical dimensions of such tower or base station.” *See* Spectrum Act § 6409(a)(1), 126 Stat. at 232. Under Section 6409, such modifications include the collocation, removal, or replacement of transmission equipment. *See id.* § 6409(a)(2), 126 Stat. at 232-33. Under the FCC’s rule implementing Section 6409(a), an existing base station is a structure that currently houses or supports an approved antenna, transceiver or other associated equipment “even if the structure was not built for the sole or primary purpose of providing such support.” 47 C.F.R. § 1.6100(b)(1), (b)(5).

Similarly, the list of equipment that will be installed as part of this Request qualifies as “transmission equipment,” which the FCC defines as “[e]quipment that facilitates transmission for any Commission-licensed or authorized wireless communication service, including, but not limited to, radio transceivers, antennas, coaxial or fiber-optic cable.” *See* 47 C.F.R. § 1.6100(b)(8).

The FCC has determined that a modification is not a substantial change, and therefore is an EFR that shall be approved under the Spectrum Act, as long as it does not fall within any of the following six criteria (47 C.F.R. § 1.6100(b)(7)):

1. For towers other than towers in the public rights-of-way, it increases the height of the tower by more than 10% or by the height of one additional antenna array with separation from the nearest existing antenna not to exceed twenty feet, whichever is greater; for other eligible support structures, it increases the height of the structure by more than 10% or more than ten feet, whichever is greater;
2. For towers other than towers in the public rights-of-way, it involves adding an appurtenance to the body of the tower that would protrude from the edge of the tower more than twenty feet, or more than the width of the tower structure at the level of the appurtenance, whichever is greater; for other eligible support structures, it involves adding an appurtenance to the body of the structure that would protrude from the edge of the structure by more than six feet;
3. For any eligible support structure, it involves installation of more than the standard number of new equipment cabinets for the technology involved, but not to exceed four cabinets; or, for towers in the public rights-of-way and base stations, it involves installation of any new equipment cabinets on the ground if there are no pre-existing ground cabinets associated with the structure, or else involves installation of ground cabinets that are more than 10% larger in height or overall volume than any other ground cabinets associated with the structure;
4. It entails any excavation or deployment outside the current site;
5. It would defeat the concealment elements of the eligible support structure; or
6. It does not comply with conditions associated with the siting approval of the construction or modification of the eligible support structure or base station equipment, provided however that this limitation does not apply to any modification that is non-compliant only in a manner that would not exceed the thresholds identified in criteria 1-4 above.

Pursuant to Section 1.6100(c) of the FCC's rules, which provides that jurisdictions may require documentation or information "only to the extent reasonably related to determining whether the request meets the requirements" of the FCC rule, DISH Wireless provides the following information to demonstrate that the proposed Request does not constitute a substantial change under the criteria above because it:

1. *Does not involve an increase in height in excess of the limits in 47 C.F.R. § 1.6100(b)(7)(i).*

Details: Please reference the enclosed Construction Drawings by Tectonic dated 5/4/22.

2. *Does not involve an increase in width in excess of the limits in 47 C.F.R. § 1.6100(b)(7)(ii).*

Details: Please reference the enclosed Construction Drawings by Tectonic dated 5/4/22.

3. *Does not involve installation of new equipment cabinets in excess of the limits in 47 C.F.R. § 1.6100(b)(7)(iii).*

Details: Please reference the enclosed Construction Drawings by Tectonic dated 5/4/22.

4. *Does not involve any excavation or deployment outside the current site.*

Details: Please reference the enclosed Construction Drawings by Tectonic dated 5/4/22.

5. *Would not defeat any concealment elements of the eligible support structure.*

Details: Please reference the enclosed Construction Drawings by Tectonic dated 5/4/22.

6. *Complies with any prior conditions, except for any non-compliance due to exceeding the thresholds in criteria 1-4 above.*

Details: Please reference the enclosed Construction Drawings by Tectonic dated 5/4/22.

Under the FCC's rule, the submission of this request for EFR approval initiates a 60-day shot clock to review and approve the application. *Id.* § 1.6100(c)(2). If that time passes without action, "the request shall be deemed granted." *Id.* § 1.6100(c)(4).

DISH Wireless is committed to working cooperatively with you to process this request in a timely and efficient manner. [We also understand that these are unprecedented times, and welcome the opportunity to answer any questions or concerns you may have to facilitate your review process]. We look forward to developing a long-term collaborative working relationship with you.

Please do not hesitate to contact me if you have any questions or need any other information.

Respectfully submitted,

Martha F. Grady

Martha E. Grady
Site Acquisition Specialist II
Airosmith Development
318 West Ave

Saratoga Springs, NY 12866
Mobile: (518) 209-4418
E-mail: mgrady@asdwireless.com



Building Permit Application

City of Rye, New York Building Department
 1051 Boston Post Road, Rye, New York 10580
Building@ryeny.gov (914) 967-7372

www.ryeny.gov

Permit Type (Check Applicable Box):

One- and Two-Family:		Other:	
<input type="checkbox"/>	New Construction	<input type="checkbox"/>	Interior Building*
<input type="checkbox"/>	Addition/Alteration	<input type="checkbox"/>	Modification of Approved Permit/Plans
Multi-Family and Commercial:		<input type="checkbox"/>	Extension of Approved Building Permit*
<input type="checkbox"/>	New Construction	<input type="checkbox"/>	Re-roofing**
<input checked="" type="checkbox"/>	Addition/Alteration	Value of Improvement:	
<input type="checkbox"/>	Change of Tenant Occupancy**	\$ 60,000.00	
<input type="checkbox"/>	Temporary Tent**		

* Complete Sections A thru H only, **Complete Sections A, B, C, D, E and H only

A. Property Information:

Street Address: 66 MILTON ROAD, RYE, NY 10580
 Property Area (Acres): 2.7
 Tax Map Designation: Sheet: 146-11 Block: 1 Lot(s): 73
 Sheet: _____ Block: _____ Lot(s): _____
 Zoning District: Select Zoning District:
 Current Use: TELECOMMUNICATION FACILITY
 Proposed Use: TELECOMMUNICATION FACILITY
 Flood Insurance Zone: Select FEMA Flood Zone: Elevation: Select FEMA Flood Elevation:
 Prior Bldg. Permit No. Required for Modifications and Extensions only

B. Architect/Engineer/Applicant Representative:

Name: TECTONIC
 Address: 1279 ROUTE 300
 City: NEWBURGH State: NY Zip: 12550
 Phone: 845-341-3634 Email: JQUICKSELL@TECTONICENGINEERING.com

C. Contractor:

Name: PPM TELECOM, LLC West. Co. Lic. #: _____
 Address: 50 COMMERCE DRIVE
 City: ALLENDALE State: NJ Zip: 07401
 Phone: 646-772-0862 Email: GJP@PPMTELECOM.NET

NOTE: Please attach hereto, contractors insurance, (naming the City of Rye as certificate holder and additionally insured) including liability and Form NYS C105 workers compensation (NYS 105) (or a signed New York State compensation waiver).

For Building Department Use Only:

Application Receipt Date:



Building Permit Application

City of Rye, New York Building Department

D. Property Owner/Applicant:

Name*: BLIND BROOK LODGE OWNERS C/O RMR RESIDENTIAL REalty LLC
Address: 45 KNOLLWOOD ROAD, SUITE 3D
City: ELMSFORD State: NY Zip: 10523
Phone: _____ Email: _____

* If owner or applicant is an LLC, please provide name of principal and contact information.

E. Project Description: (Please describe the proposed project).

DISH WIRELESS, LLC TO COLLOCATE 3 ANTENNAS, 6 RRHS, 3 OVP DEVICES AND 6 CABLES ON 3 PIPE MOUNTS ON THE EXTERIOR WUPOLA WALL AT THE EXISTING TELECOMMUNICATION FACILITY. ALL MATERIALS WILL BE PAINTED | PATTERN TO MATCH BUILDING. PLEASE REFER TO CONSTRUCTION DRAWINGS BY TECTONIC DATED 5/4/22.

F. Regulatory Compliance:

1. Is the project located in a flood zone or floodway?
(If yes, [Chapter 100, Floodplain Management](#), may apply) Yes No
2. Is the project a Protected Structure or within a Preservation District?
(If yes, [Chapter 117, Landmarks Preservation](#), may apply) Yes No
3. Is a fence or wall proposed as part of the application?
(If yes, [Chapter 90, Fences and Walls](#), may apply) Yes No
4. Is the property located within a designated coastal area boundary?
(If yes, [Chapter 73, Coastal Zone Management](#), may apply) Yes No
5. Is the property located within 100 feet of a wetland?
(If yes, [Chapter 195, Wetlands and Watercourses](#), may apply) Yes No
6. Is any land disturbing activity proposed greater than 300 square feet?
(If yes, Please complete an Engineering Review Form as required by [Chapter 174, Stormwater Management](#), of the Rye City Code) Yes No
7. Is any tree removal proposed?
(If yes, [Chapter 187, Trees](#) may apply) Yes No
8. Is any signage proposed?
(If yes, [Chapter 165, Signs](#) may apply) Yes No
9. Would the project change the exterior appearance of the structure?
(If yes, [Chapter 153, Architectural Review](#) applies. Please complete the Board of Architectural Review Application attached hereto.) Yes No



Building Permit Application

City of Rye, New York Building Department

G. Zoning Compliance:

Applicants are responsible for their applications to be compliant with all requirements of [Chapter 197, Zoning](#), of the Rye City Code. To assist the City in assessing compliance, please complete the table below and include on the first page of the plan submission. This table includes many, but not all of the bulk and dimensional requirements of the City Zoning Code. Please visit www.ryeny.gov for entire Code.

Select Zoning District: Zoning District:	Allowed/Required ¹	Existing	Proposed ²
Principal Building(s):			
Lot Area (in square feet)			
Floor Area Ratio³			
First Floor Area	n/a		
Second Floor Area	n/a		
Attic Floor Area	n/a		
Other Area ⁴	n/a		
Total Floor Area			
F.A.R. ⁵			
Yard Setbacks			
Front Yard			
Shortest Side Yard			
Total of Two Side Yards			
Rear Yard			
Lot Width			
Height/Stories			
Number of Stories			
Building Height			
First Floor Elevation ⁶			
Parking			
Number of Spaces			
Closest Side Yard Setback			
Accessory Building(s):			
Floor Area			
Front Yard Setback			
Closest Side Yard Setback			
Rear Yard Setback			
Max. Rear Yard Coverage	0.0%	0.0%	0.0%
Number of Stories			
Building Height			

¹ Carefully review all sections of [Article V of the City Zoning Code](#) AND footnotes included in Tables [A](#), [B](#) and [C](#).
² Provide copies, if any, of all variances issued for the property regardless of whether they are related to the project.
³ Floor area diagram of every floor (and accessory building(s)) is required for all new construction and additions.
⁴ Shall include other floors (if applicable) and all existing and proposed accessory building(s) on the property.
⁵ F.A.R. shall be rounded to not more than three (3) decimal places (e.g. 0.256)
⁶ For single-family residential buildings see Section [197-46.1](#).



Building Permit Application

City of Rye, New York Building Department

H. Affidavit

State of New York
County of Westchester

I, MARTHA GRAY (please print), being duly sworn, depose and say that I am the owner (lessee, engineer, surveyor, architect, builder, or agent of the owner) in fee of the premises to which this application applies; that I (the applicant) is duly authorized to make this application and that the statements contained in the papers submitted herein are true to the best of his knowledge and belief, and that the work will be performed in the manner of set forth in the application and in the plans and specification filed therewith, and in accordance with State Uniform Building Code and all other applicable laws, ordinances and regulations of the municipality.

The signature of the applicant also grants consent to having relevant City Staff or City Board or Commission members responsible for of the review or approval of this application(s) to enter the property of the subject application.

Martha Gray
Signature of Applicant

SWORN to before me this 10th day of May, 2022.

Colleen A. Hummel
Notary Public

COLLEEN A. HUMMEL
Notary Public, State of New York
Qualified in Albany County
No. 01HU6061493
Commission Expires July 16, 2023
CAH

Note: For additional information and a complete description of the Department's building permit process and submission requirements please visit the Building Department page of the City's website at www.ryeny.gov/government/building-department.



Board of Architectural Review Application
City of Rye, New York Building Department
 1051 Boston Post Road, Rye, New York 10580
Building@ryenv.gov (914) 967-7372 www.ryenv.gov

A. Address: 666 MILTON ROAD, RYE, NY 10580

B. Architect/Engineer/Applicant Representative:

Name: TECTONIC
 Address: 1279 ROUTE 300
 City: NEWBURGH State: NY Zip: 12550
 Phone: 845-341-3634
 Email: JQUICKSELL@TECTONICENGINEERING.COM

C. Property Owner:

Name*: BLIND BROOK LODGE OWNERS
 Address: 45 KNOLLWOOD ROAD, SUITE 30
 City: ELMSFORD State: NY Zip: 10523
 Phone: _____
 Email: _____

* If owner is an LLC, please provide name of principal and contact information.

D. Project Description (please specify the following): PLEASE SEE ENCLOSED CONSTRUCTION DRAWINGS

	Material	Color
Exterior Walls:	_____	_____
Roof:	_____	_____
Trim:	_____	_____
Shutters:	_____	_____
Chimney:	_____	_____

The following have been provided:

	Yes	No
Photographs:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevation:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Plot Plan:	<input checked="" type="checkbox"/>	<input type="checkbox"/>



Board of Architectural Review Application

City of Rye, New York Building Department

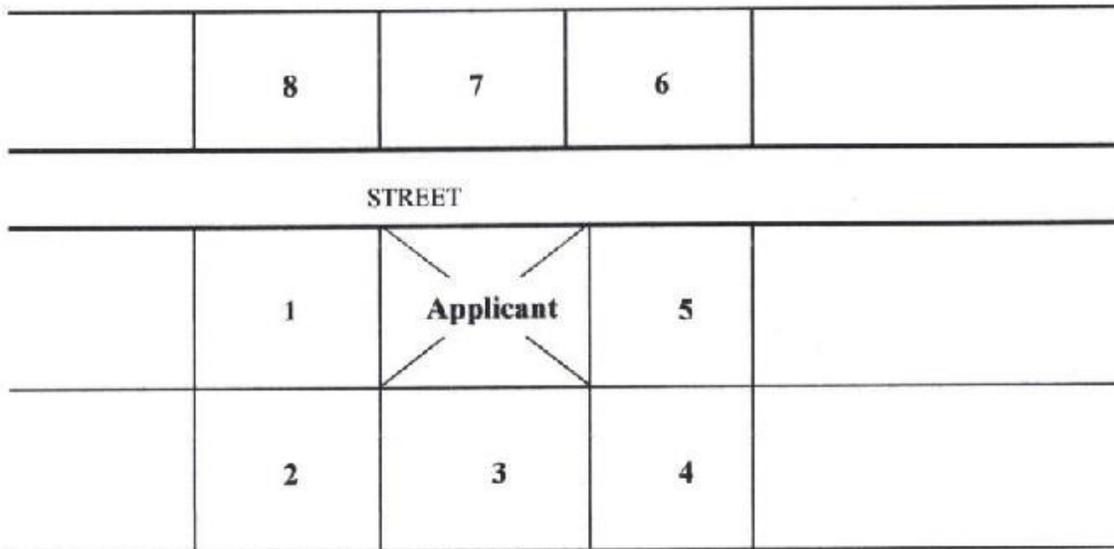
1051 Boston Post Road, Rye, New York 10580

Building@ryeny.gov

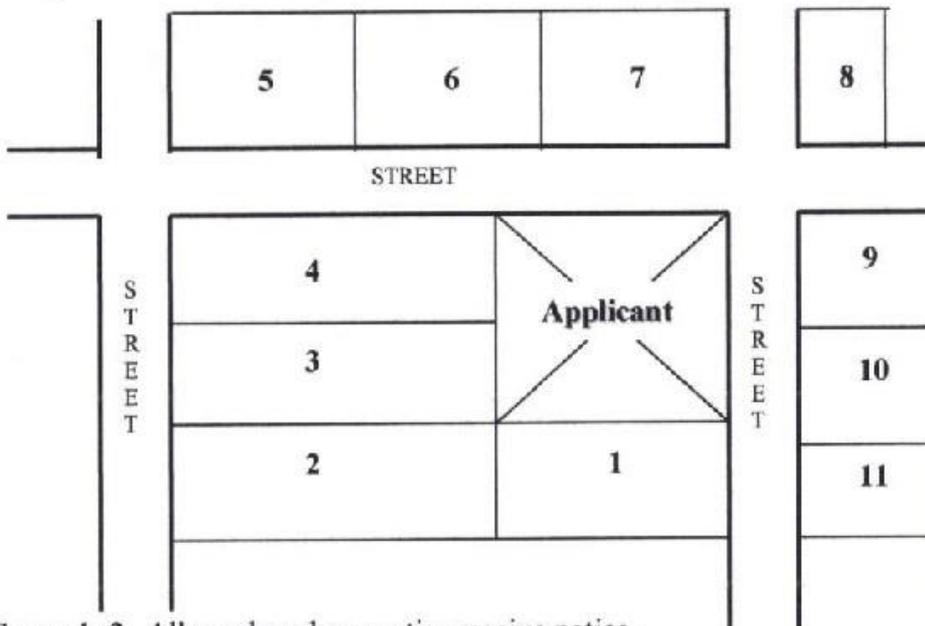
(914) 967-7372

www.ryeny.gov

At least **fourteen (14) days** prior to the Board of Architectural Review meeting date, the applicant must circulate the public notice to all property owners *abutting and located across the street* from the subject property. Notice shall be sent via certified mail (no return receipt). A copy of the certificate of mailing shall be included with the submission of a building permit to the City Building Department. Names and addresses of neighbors can be found by using the “abutters” tab from the mapping section of the City’s website at www.ryeny.gov.



Example 1: All numbered properties receive notice.



Example 2: All numbered properties receive notice.



NOTICE

An application is being made for a building permit to the City of Rye, New York Building Department for the following:

- Addition
- Alteration
- New structure

For a property located at: 66 MILTON ROAD, RYE, NY 10580

(Check only one of the following paragraphs)

This application will be referred to the Board of Architectural Review for aesthetic consideration pursuant to Chapter 53 of the Rye City Code, and will be reviewed by the Board at a future public meeting. To determine when this application will be reviewed, please visit the City of Rye website at www.ryenv.gov and click on *Board of Architectural Review Agenda*.

This application is being submitted for a Building Permit as a "Small Project" pursuant to Section 53-1 (B) of the Rye City Code. "Small Projects" are exempt from review by the Board of Architectural Review unless referred by the Building Inspector upon finding that the project may have a substantial aesthetic impact upon immediate neighboring properties. The Board of Architectural Review has prepared guidelines for such referral of "Small Projects", including the receipt of comments from neighbors regarding aesthetic impact. **If you wish to review and comment on this application, you must contact the Building Department within fourteen (14) days of the date indicated on this form.**

This notice is being submitted to you by MARTHA GRADY, AGENT FOR DISH
 (please print)

5/10/2022
 Date



DISH WIRELESS SITE ID:

NJJER01023C

DISH WIRELESS SITE ADDRESS:

**66 MILTON ROAD
RYE, NY 10580-3850**

NEW YORK CODE COMPLIANCE

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

CODE TYPE	CODE
BUILDING	2018 IBC
MECHANICAL	2018 IMC
ELECTRICAL	2017 NEC

SHEET INDEX

SHEET NO.	SHEET TITLE
T-1	TITLE SHEET
A-1	OVERALL SITE PLAN
A-2	ROOF PLAN
A-3	ANTENNA LAYOUT AND SCHEDULE
A-4	BUILDING ELEVATION
A-5	ENLARGED EQUIPMENT PLATFORM PLAN
A-6	EQUIPMENT DETAILS
A-7	EQUIPMENT DETAILS
S-1	PLATFORM MODIFICATION
S-2	ANTENNA MOUNT DETAILS
E-1	ELECTRICAL/FIBER ROUTE PLAN
E-2	ELECTRICAL DETAILS AND NOTES
E-3	ELECTRICAL ONE-LINE & PANEL SCHEDULE
G-1	GROUNDING PLAN AND NOTES
G-2	GROUNDING DETAILS
G-3	GROUNDING DETAILS
RF-1	RF CABLE COLOR CODE
GN-1	LEGEND AND ABBREVIATIONS
GN-2	RF SIGNAGE
GN-3	GENERAL NOTES
GN-4	GENERAL NOTES
GN-5	GENERAL NOTES

SCOPE OF WORK

THIS IS NOT AN ALL INCLUSIVE LIST. CONTRACTOR SHALL UTILIZE SPECIFIED EQUIPMENT PART OR ENGINEER APPROVED EQUIVALENT. CONTRACTOR SHALL VERIFY ALL NEEDED EQUIPMENT TO PROVIDE A FUNCTIONAL SITE. THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:

- ANTENNA SCOPE OF WORK:**
- INSTALL (3) PROPOSED PANEL ANTENNAS (1 PER SECTOR)
 - INSTALL (3) PROPOSED PIPE MOUNTS (1 PER SECTOR)
 - INSTALL PROPOSED JUMPERS
 - INSTALL (6) PROPOSED RRHs (2 PER SECTOR)
 - INSTALL (3) PROPOSED OVER VOLTAGE PROTECTION DEVICE (OVP) (1 PER SECTOR)
 - INSTALL (3) PROPOSED FIBER CABLES (1 PER SECTOR)
 - INSTALL (3) PROPOSED DC POWER CABLES (1 PER SECTOR)

- EQUIPMENT SCOPE OF WORK:**
- REUSE EXISTING STEEL PLATFORM
 - REPLACE EXISTING PTC CABINET (W/PROPOSED PPC)
 - INSTALL (1) PROPOSED EQUIPMENT CABINET
 - REUSE EXISTING POWER CONDUIT
 - REUSE EXISTING TELCO CONDUIT
 - INSTALL (1) PROPOSED GPS UNIT
 - INSTALL (1) PROPOSED SAFETY SWITCH (IF REQUIRED)
 - INSTALL (1) PROPOSED CIENA BOX (IF REQUIRED)
 - INSTALL (1) PROPOSED ELECTRIC METER
 - INSTALL PROPOSED CABLE TRAY SYSTEM

SITE PHOTO



UNDERGROUND SERVICE ALERT - NEW YORK 811
UTILITY NOTIFICATION CENTER OF NEW YORK
(800) 272-4480
WWW.NEWYORK-811.COM



CALL 2 WORKING DAYS UTILITY NOTIFICATION PRIOR TO CONSTRUCTION

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE, NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, AND CONDITIONS ON THE JOB SITE, AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

SITE INFORMATION

PROPERTY OWNER: BLIND BROOK LODGE OWNERS INC
ADDRESS: 66 MILTON ROAD RYE, NY 10580-3850

TOWER TYPE: ROOFTOP

TOWER CO SITE ID: N/A

TOWER APP NUMBER: N/A

COUNTY: WESTCHESTER

LATITUDE (NAD 83): 40° 58' 40.8" N
40.978° N

LONGITUDE (NAD 83): 73° 41' 04.92" W
73.6847° W

ZONING JURISDICTION: CITY OF RYE

ZONING DISTRICT: RS

PARCEL NUMBER: 146-11-73

OCCUPANCY GROUP: R-2

POWER COMPANY: CON-EDISON

TELEPHONE COMPANY: LIGHTPATH

PROJECT DIRECTORY

APPLICANT: DISH Wireless L.L.C.
5701 S SANTA FE DR
LITTLETON, CO 80120

SITE DESIGNER: TECTONIC ENGINEERING CONSULTANTS
GEOLOGISTS, SURVEYORS D.P.C.
1279 ROUTE 300
NEWBURGH, NY 10953
(845) 567-6656

SITE ACQUISITION: AIROSMITH DEVELOPMENT, INC.
318 WEST AVENUE
SARATOGA SPRINGS, NY 12866

CONSTRUCTION MANAGER: RAFAL ROSOLOWSKI
RAFAL.ROSLOWSKI@DISH.COM

RF ENGINEER: PAWAN MADAHAR
PAWAN.MADAHAR@DISH.COM

DIRECTIONS

DIRECTIONS FROM 3 ADP BOULEVARD, ROSELAND, NJ:

TAKE CHOCTAW WAY AND TURN RIGHT ONTO LIVINGSTON AVE/COUNTY HWY-527, TAKE RAMP RIGHT AND FOLLOW SIGNS FOR I-280 E. AT EXIT 12 HEAD RIGHT ON THE RAMP FOR ORATON PKY TOWARD PARKWAY, ROAD NAME CHANGES TO GARDEN STATE PKWY N. AT EXITS 14-1 HEAD RIGHT ON RAMP FOR I-87 S/I-287 E TOWARD NEW YORK CITY, KEEP STRAIGHT TO GET ONTO I-287 E. AT EXIT 12, HEAD RIGHT ON RAMP FOR I-85 S TOWARD NEW YORK. AT EXIT 19, HEAD RIGHT ON THE RAMP FOR PLAYLAND PKWY TOWARD HARRISON/RYE, TURN LEFT ONTO MILTON RD.

VICINITY MAP



NO SCALE



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LITTLETON, CO 80120



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Newburgh, NY 12550 (800) 829-6531
www.tectonicengineering.com



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DRAWN BY:	CHECKED BY:	APPROVED BY:
NM	JQ	MP

RFDS REV #: 1

CONSTRUCTION DOCUMENTS

SUBMITTALS		
REV	DATE	DESCRIPTION
0	05/04/2022	ISSUED FOR CONSTRUCTION

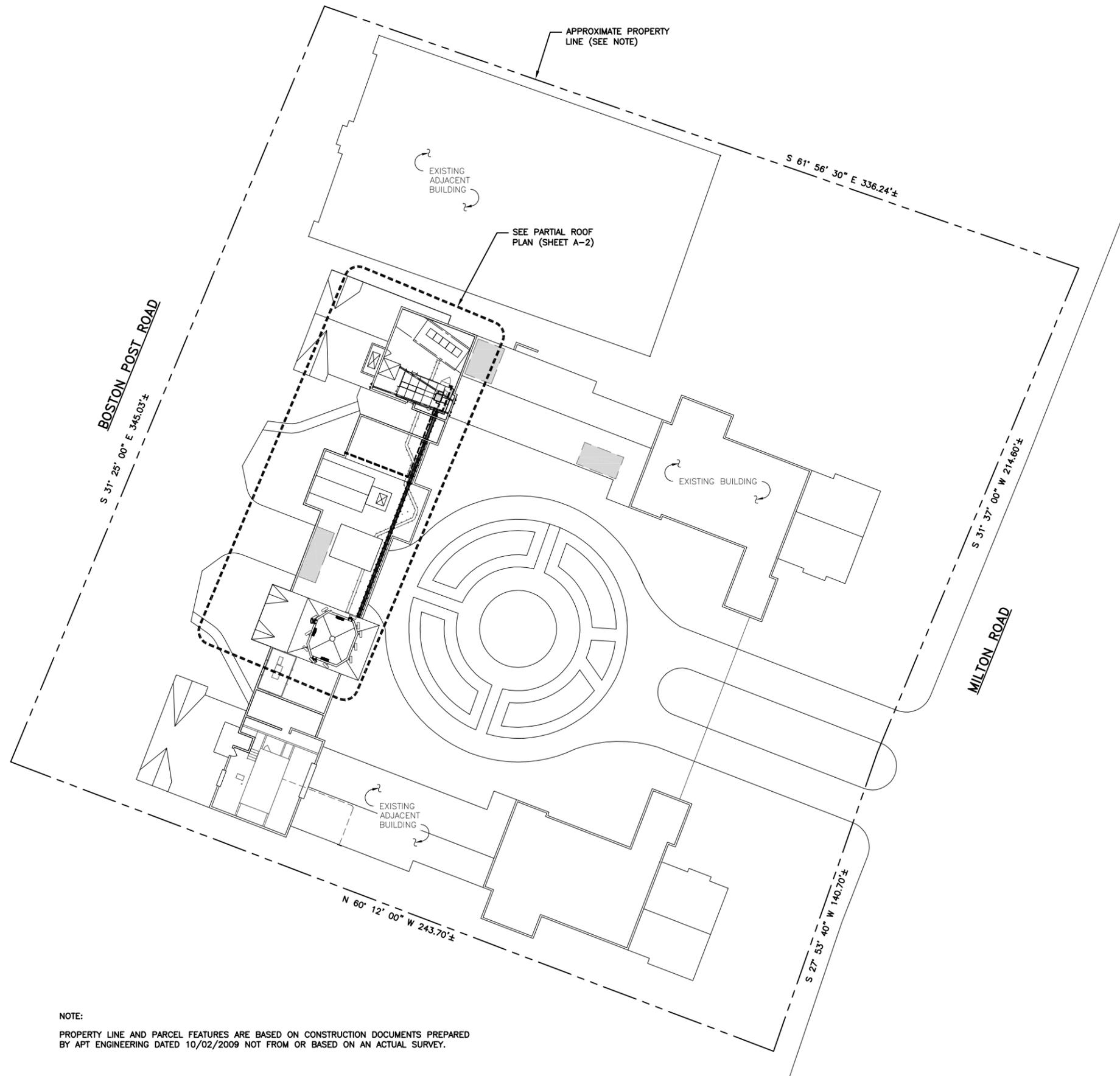
A&E PROJECT NUMBER
10710.NJJER01023C

DISH Wireless L.L.C.
PROJECT INFORMATION
NJJER01023C

66 MILTON ROAD
RYE, NY 10580-3850

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1



NOTE:
 PROPERTY LINE AND PARCEL FEATURES ARE BASED ON CONSTRUCTION DOCUMENTS PREPARED BY APT ENGINEERING DATED 10/02/2009 NOT FROM OR BASED ON AN ACTUAL SURVEY.



OVERALL SITE PLAN



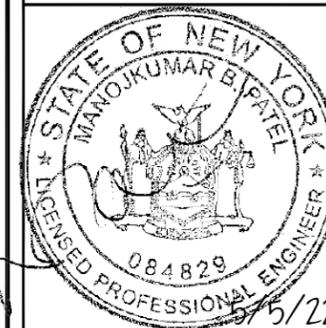
1

dish
 wireless.

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DISH Wireless L.L.C.
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 NJJER01023C

66 MILTON ROAD
 RYE, NY 10580-3850

SHEET TITLE
 OVERALL SITE PLAN

SHEET NUMBER
A-1

NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. ANTENNA AND MW DISH SPECIFICATIONS REFER TO ANTENNA SCHEDULE AND TO FINAL CONSTRUCTION RFDS FOR ALL RF DETAILS
3. REFER TO THE STRUCTURAL ANALYSIS REPORT BY TECTONIC ENGINEERING DATED 12/21/21.

ANTENNA AZIMUTHS	
ALPHA	50°
BETA	180°
GAMMA	290°



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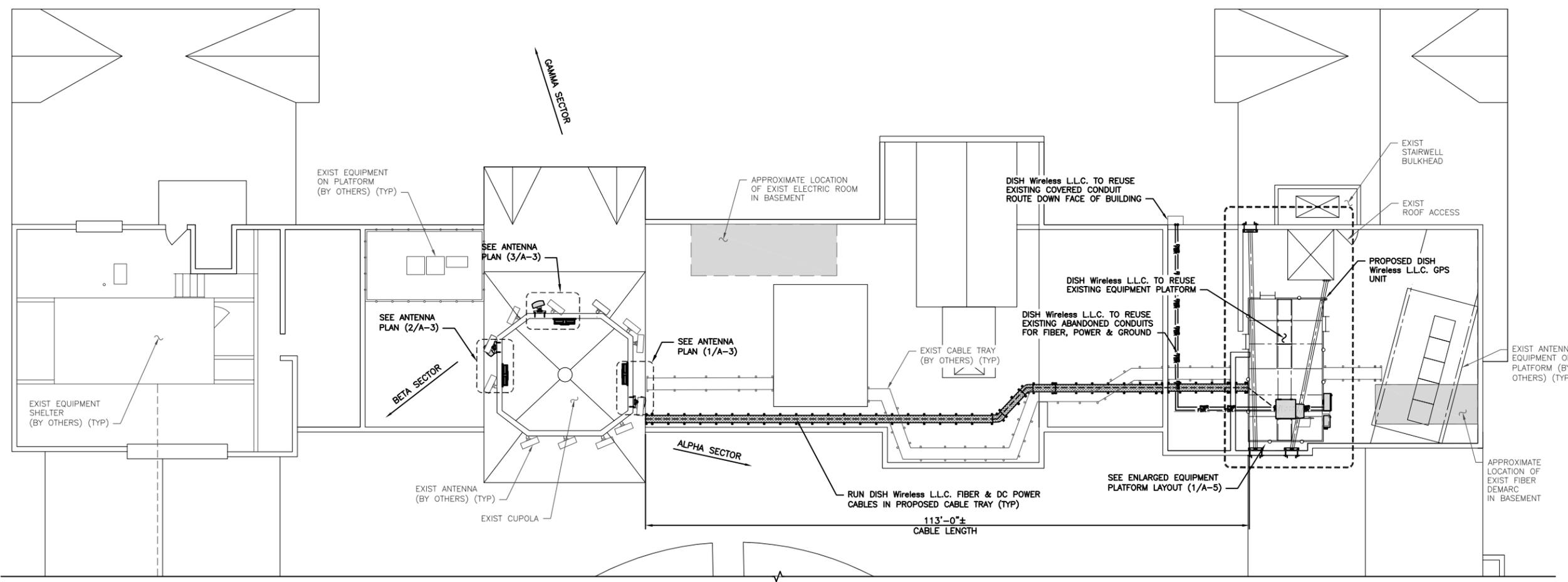
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DISH Wireless L.L.C.
PROJECT INFORMATION
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66 MILTON ROAD
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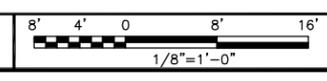
SHEET TITLE
ROOF PLAN

SHEET NUMBER
A-2

BOSTON POST ROAD

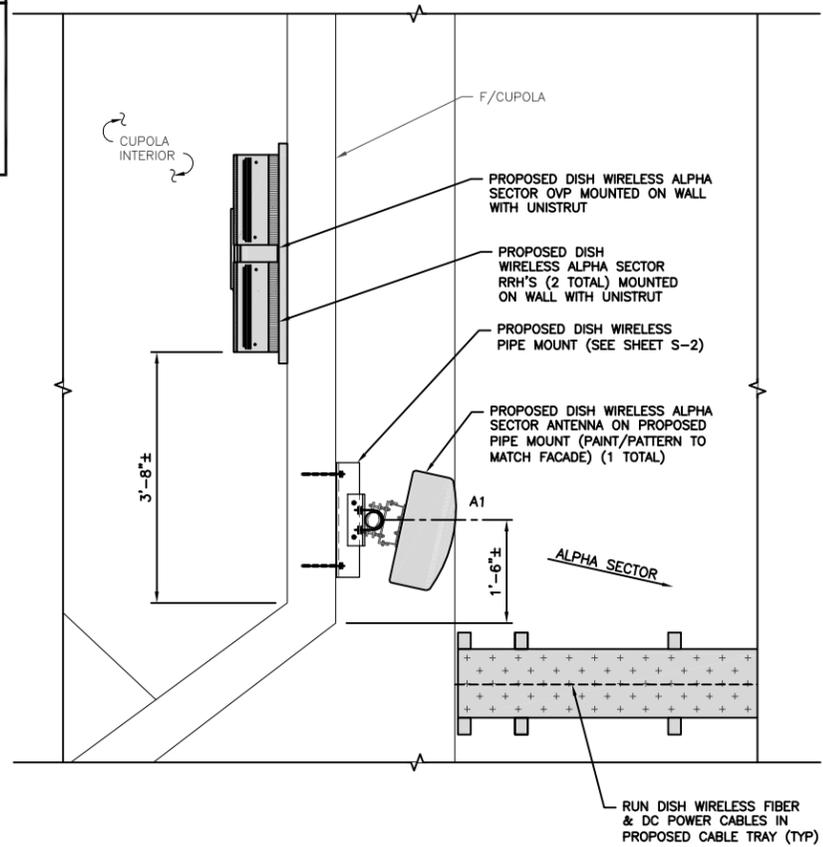


ROOF PLAN

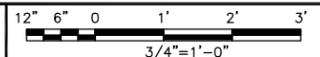


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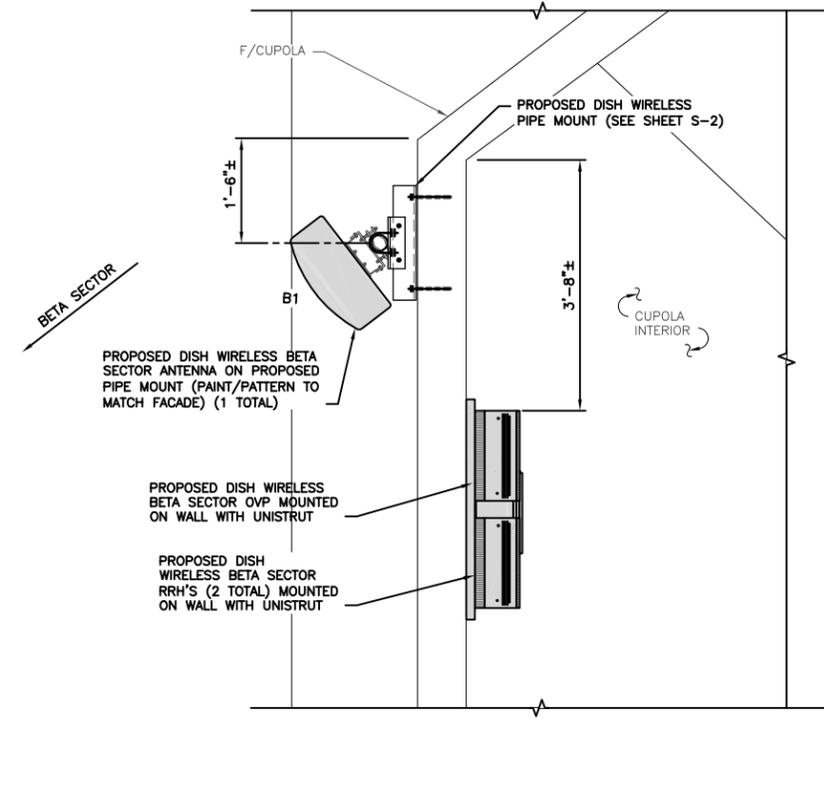
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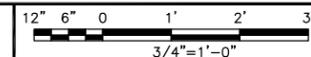
PROPOSED ALPHA SECTOR



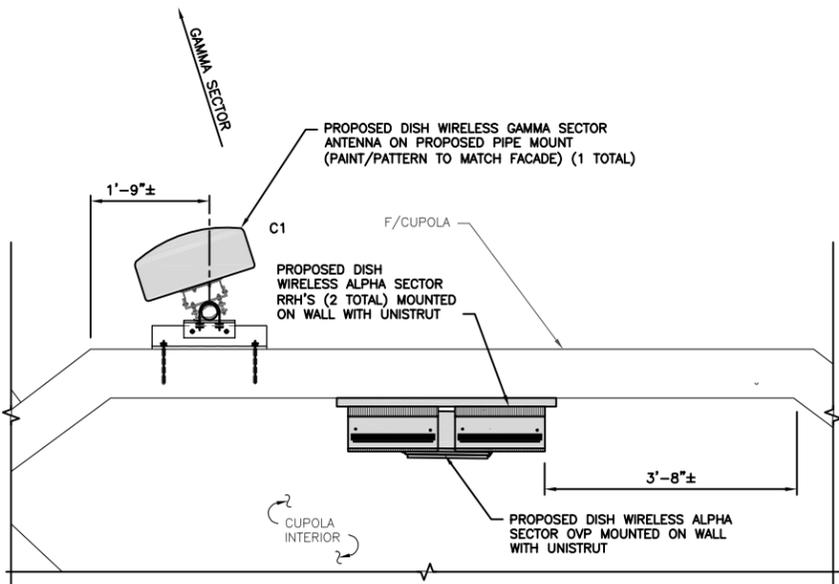
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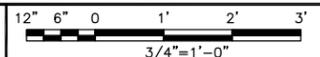
PROPOSED BETA SECTOR



2



PROPOSED GAMMA SECTOR



3

SECTOR POS.	ANTENNA					TRANSMISSION CABLE FEED LINE TYPE AND LENGTH	RRH			OVP MANUFACTURER MODEL
	EXISTING OR PROPOSED	MANUFACTURER - MODEL NUMBER	TECH	AZIMUTH	RAD CENTER		MANUFACTURER - MODEL NUMBER	TECH	POS.	
A1	PROPOSED	JMA - MX08FR0465-20-VIP	5G	50°	92'-6"	(1) FIBER & DC POWER CABLE (130' LONG)	FUJITSU - TA08025-B604	5G	A1	RAYCAP RDIDC-3045-PF-48
							FUJITSU - TA08025-B605	5G	A1	
B1	PROPOSED	JMA - MX08FR0465-20-VIP	5G	180°	92'-6"	(1) FIBER & DC POWER CABLE (170' LONG)	FUJITSU - TA08025-B604	5G	B1	RAYCAP RDIDC-3045-PF-48
							FUJITSU - TA08025-B605	5G	B1	
C1	PROPOSED	JMA - MX08FR0465-20-VIP	5G	290°	99'-6"	(1) FIBER & DC POWER CABLE (150' LONG)	FUJITSU - TA08025-B604	5G	C1	RAYCAP RDIDC-3045-PF-48
							FUJITSU - TA08025-B605	5G	C1	

- NOTES**
1. CONTRACTOR TO REFER TO FINAL CONSTRUCTION RFDS FOR ALL RF DETAILS.
 2. ANTENNA AND RRH MODELS MAY CHANGE DUE TO EQUIPMENT AVAILABILITY. ALL EQUIPMENT CHANGES MUST BE APPROVED AND REMAIN IN COMPLIANCE WITH THE PROPOSED DESIGN AND STRUCTURAL ANALYSES.
 3. AZIMUTHS ARE SUBJECT TO CHANGE AND NEED TO BE CONFIRMED WITH THE LATEST RFDS PRIOR TO THE START OF CONSTRUCTION.

ANTENNA SCHEDULE

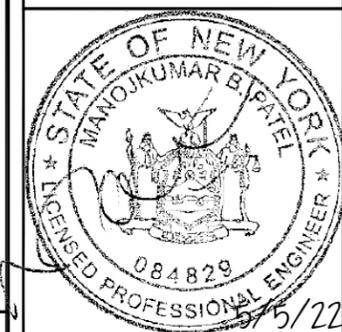
NO SCALE 4



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DRAWN BY: NM CHECKED BY: JQ APPROVED BY: MP

RFDS REV #: 1

CONSTRUCTION DOCUMENTS

SUBMITTALS		
REV	DATE	DESCRIPTION
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A&E PROJECT NUMBER
10710.NJER01023C

DISH Wireless L.L.C.
PROJECT INFORMATION
NJER01023C

66 MILTON ROAD
RYE, NY 10580-3850

SHEET TITLE
ANTENNA LAYOUT
AND SCHEDULE

SHEET NUMBER
A-3

NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. ANTENNAS AND MOUNTS OMITTED FOR CLARITY.
3. REFER TO STRUCTURAL ANALYSIS REPORT BY TECTONIC ENGINEERING DATED 12/21/22.



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LITTLETON, CO 80120



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NM	JQ	MP

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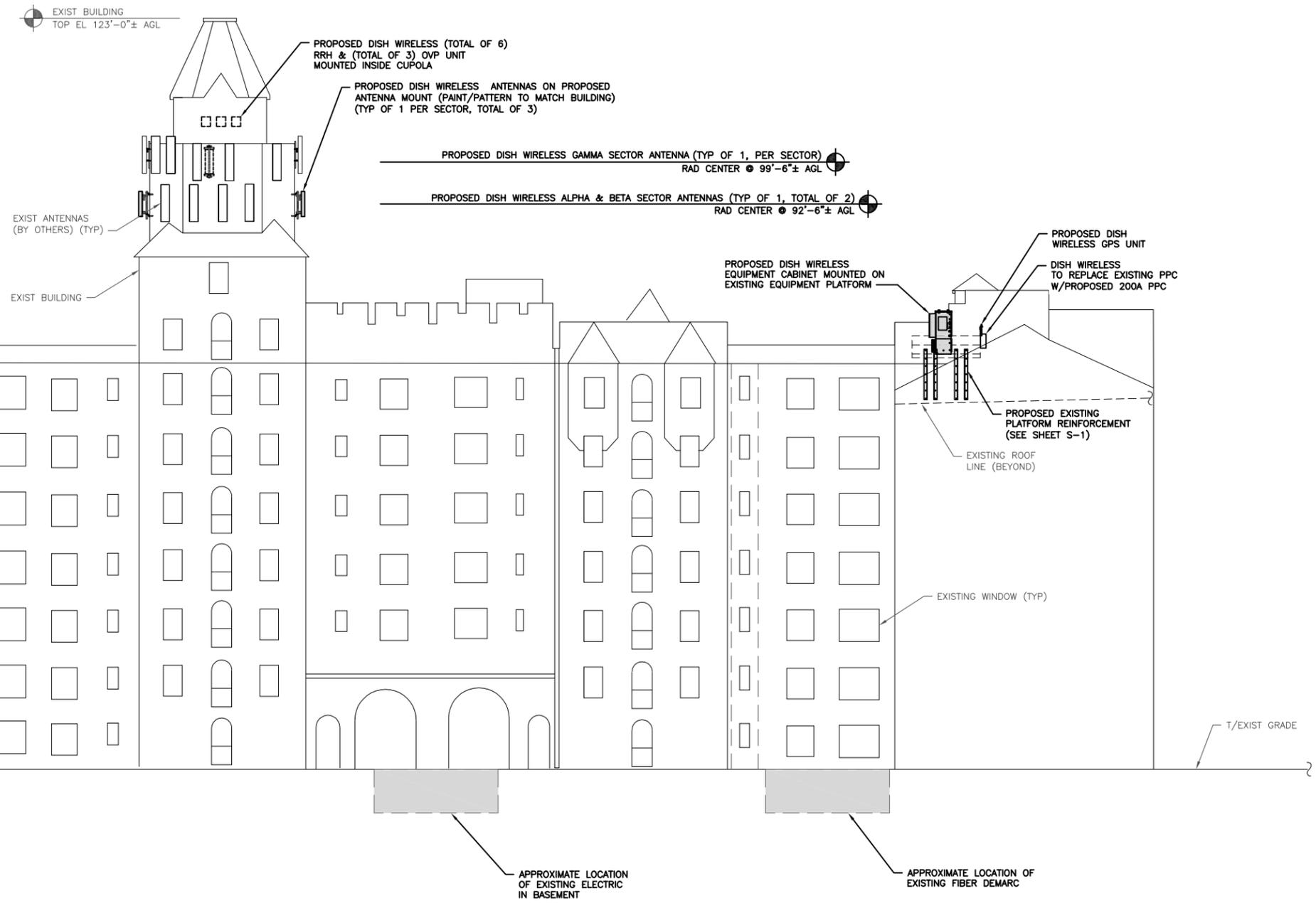
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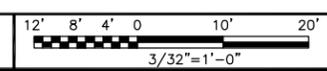
SHEET TITLE
BUILDING ELEVATION

SHEET NUMBER

A-4



BUILDING ELEVATION



dish
wireless.

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DRAWN BY: CHECKED BY: APPROVED BY:
NM JQ MP

RFDS REV #: 1

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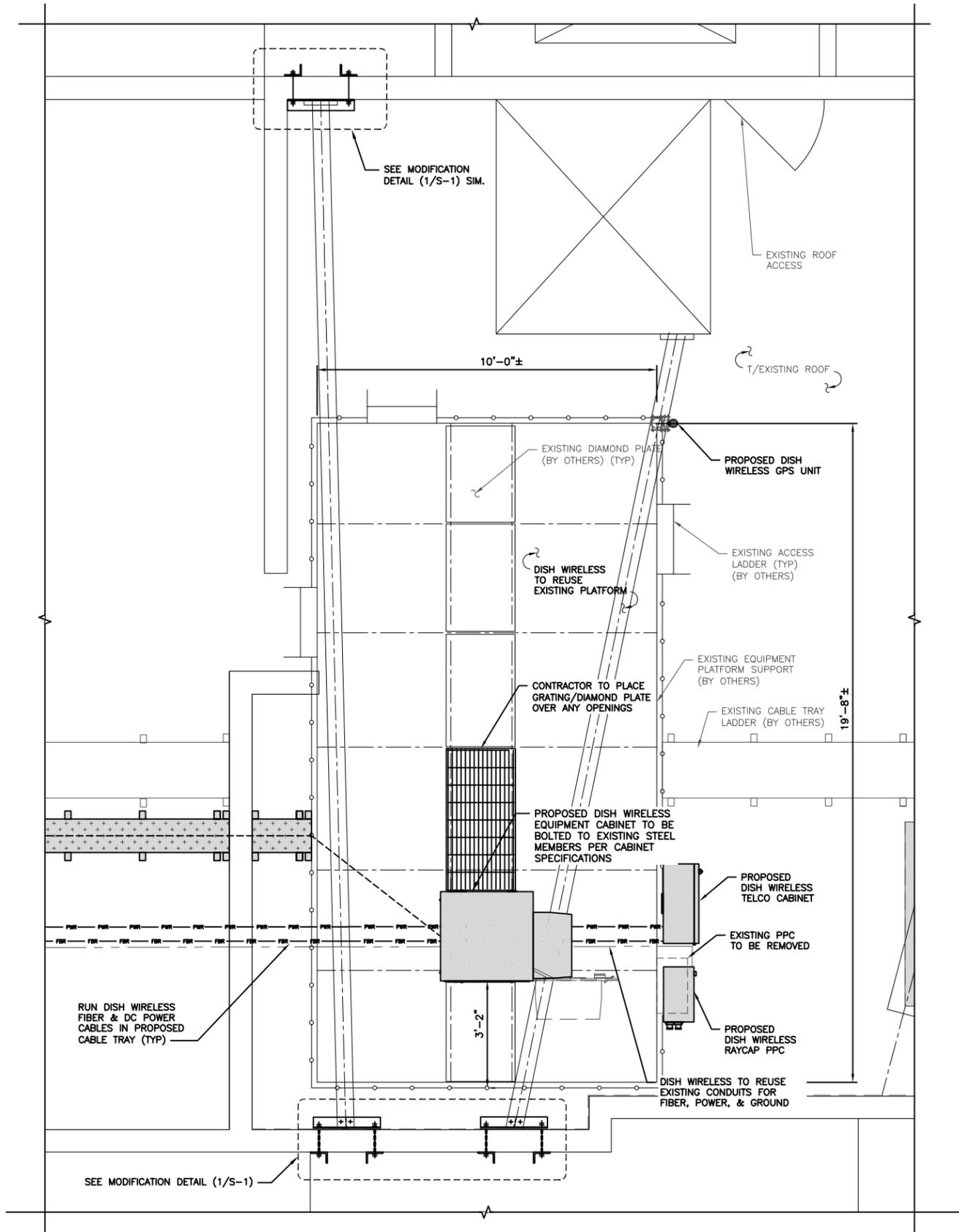
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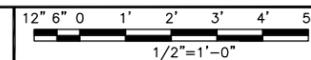
66 MILTON ROAD
RYE, NY 10580-3850

SHEET TITLE
ENLARGED EQUIPMENT
PLATFORM PLAN

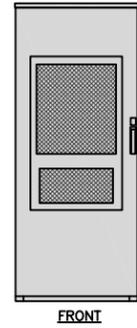
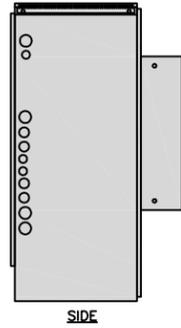
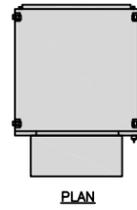
SHEET NUMBER
A-5



ENLARGED EQUIPMENT PLATFORM PLAN



ENERSYS HEX 200005996	
DIMENSIONS (HxWxD)	73"x30"x32"
POWER SYSTEM	-48V ALPHA/600A
HEATER	800W
TOTAL WEIGHT (EMPTY)	376 lbs

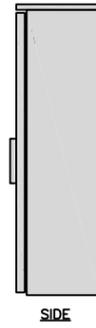
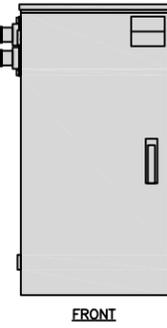
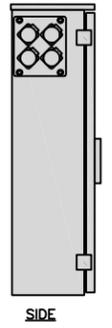
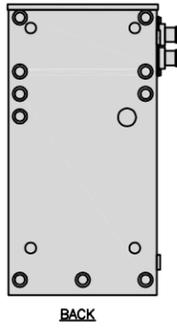
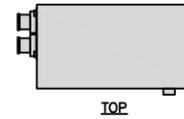


CABINET DETAIL

NO SCALE

1

RAYCAP PPC RDIAC-2465-P-240-MTS	
ENCLOSURE DIMENSIONS (HxWxD):	39"x22.855"x12.593
WEIGHT:	80 lbs
OPERATING AC VOLTAGE	240/120 1 PHASE 3W+G

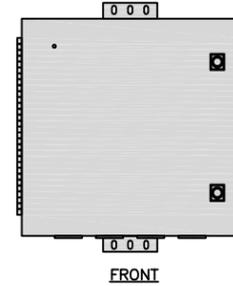
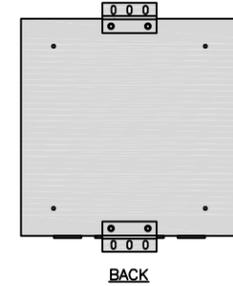
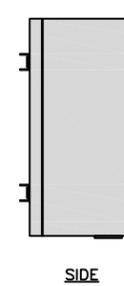
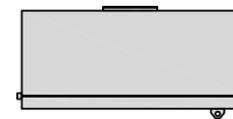


POWER PROTECTION CABINET (PPC) DETAIL

NO SCALE

2

CHARLES CFIT-PF2020DSH1 FIBER TELCO ENCLOSURE	
ENCLOSURE DIMS (HxWxD)	20"x20"x9"
ENCLOSURE WEIGHT	20 lbs
MOUNTING	WALL
COMPLIANCE	TYPE 4

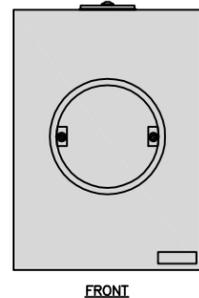
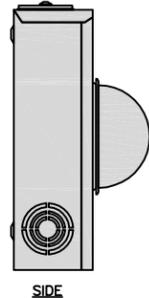
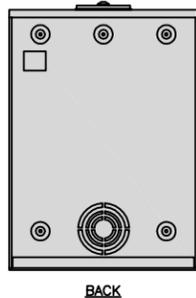
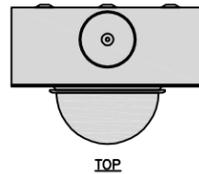


FIBER TELCO ENCLOSURE DETAIL

NO SCALE

3

EATON METER SOCKET UNRRS213BEUSE	
DIMENSIONS (HxWxD)	16"x12"x6"
TYPE	RING
AMPERAGE RATING	200 CONT. AMP
WEIGHT	18 lbs

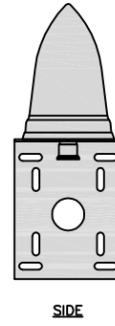
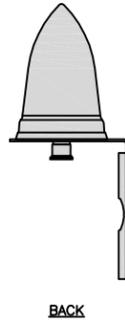
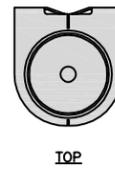


METER BANK DETAIL

NO SCALE

4

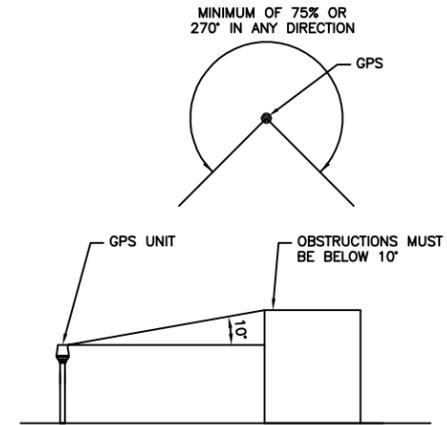
PCTEL GPSGL-TMG-SPI-40NCB	
DIMENSIONS (DIAxH) MM/INCH	81x184mm 3.2"x7.25"
WEIGHT W/ACCESSORIES	075 lbs
CONNECTOR	N-FEMALE
FREQUENCY RANGE	1590 ± 30MHz



GPS DETAIL

NO SCALE

5

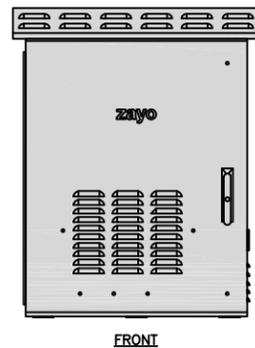
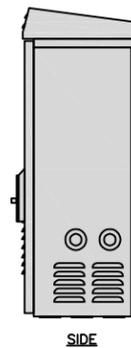
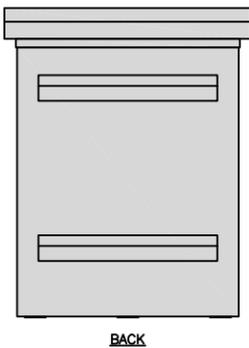
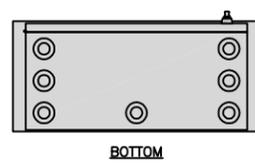


GPS MINIMUM SKY VIEW REQUIREMENTS

NO SCALE

6

ZAYO 5RU (LEFT SWING DOOR) FIBER NID ENCLOSURE	
DIMENSIONS (HxWxD)	36.1"x29"x12.9"
WEIGHT	85 lbs

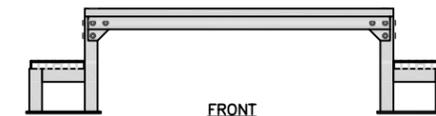
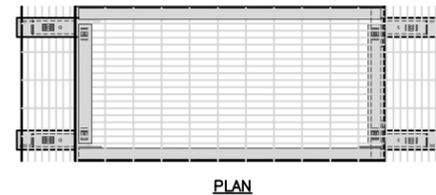


FIBER NID ENCLOSURE DETAIL

NO SCALE

7

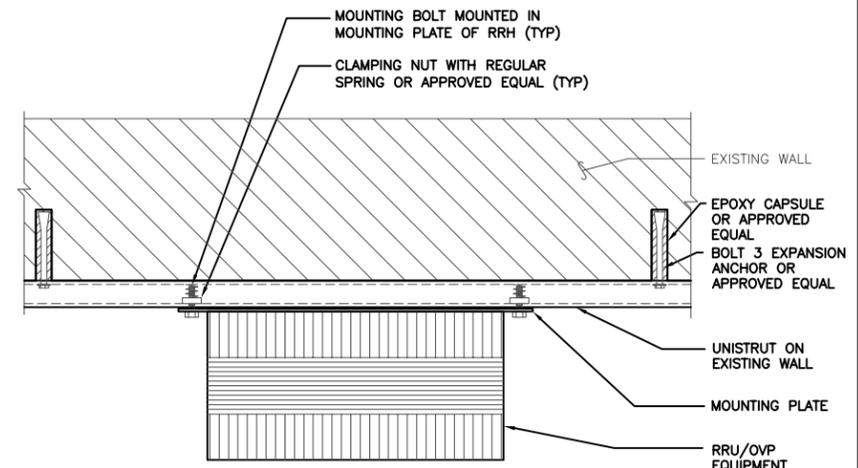
SITEPRO1 STEP 48 ROOFTOP STEEL STEP OVER	
DIMENSIONS (HxWxL)	13.2"x41.5"x70.5"
WEIGHT/ VOLUME	146.387 LBS
NOTE: NON-PENETRATING	



ROOFTOP STEEL STEP OVER DETAIL

NO SCALE

8



RRH/OVP UNISTRUT WALL MOUNT DETAIL

NO SCALE

9



5701 S SANTA FE DR
LITTLETON, CO 80120



Project Contact Info
1279 Route 300 Phone: (845) 567-6656
(800) 829-6531 Newburgh, NY 12550 www.tectonicengineering.com



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NM	JQ	MP

RFDS REV #: 1

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SUBMITTALS		
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A&E PROJECT NUMBER
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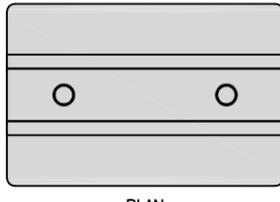
DISH Wireless L.L.C.
PROJECT INFORMATION
NJER01023C

66 MILTON ROAD
RYE, NY 10580-3850

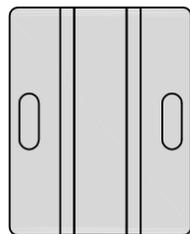
SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER
A-6

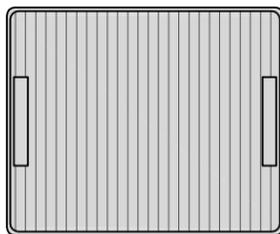
MTI TB GEN-1.5 G060708-50-02B	
DIMENSIONS (HxWxD)	13.9"x16.9"x11"
WEIGHT	97 lbs
DC POWER IN	-40.5V to -57V
POWER SUPPLY VOLTAGE	-48Vdc (NOMINAL)



PLAN

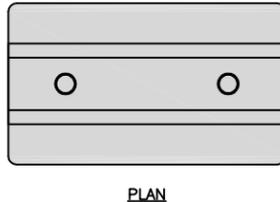


SIDE

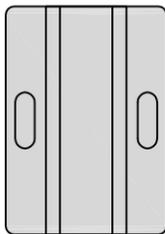


FRONT

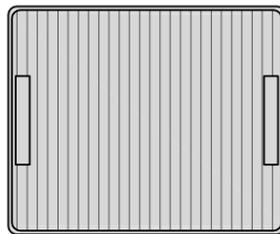
MTI DB GEN-1.5 G2021-49-02B	
DIMENSIONS (HxWxD)	13.9"x16.9"x9.8"
WEIGHT	86 lbs
DC POWER IN	-40.5V to -57V
POWER SUPPLY VOLTAGE	-48Vdc (NOMINAL)



PLAN



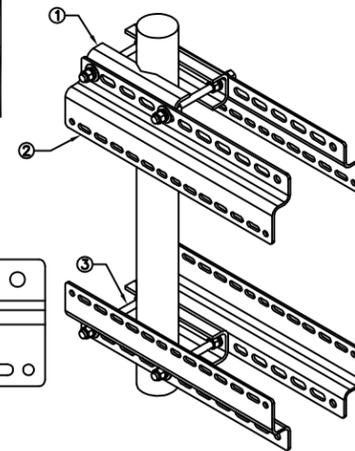
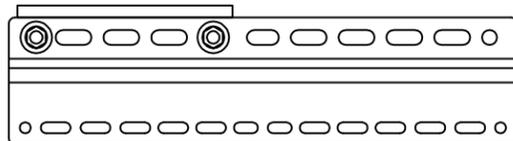
SIDE



FRONT

SABRE DOUBLE Z-BRACKET C10123155	
DIMENSIONS (HxWxD) (1 BRACKET)	5"x20"x1-13/16"
WEIGHT (FULL ASSEMBLY)	35.79 lbs
PACKAGE QUANTITY	4

#	DESCRIPTION
1	PLATE, CHANNEL BRACKET
2	RRH Z BRACKET, 3/16"
3	THREADED ROD ASSEMBLY 1/2"x12"



NOTE:
OR DISH Wireless L.L.C.
APPROVED EQUIVALENT

RRH DETAIL

NO SCALE

1

RRH DETAIL

NO SCALE

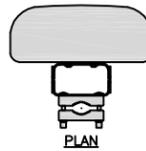
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RRH MOUNT DETAIL

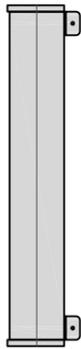
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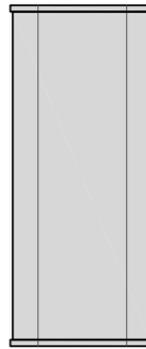
JMA MX08FRO465-20	
DIMENSIONS (HxWxD)	48"x20.0"x8.0"
RF PORTS, CONNECTOR TYPE	8 x 4.3-10 FEMALE
WEIGHT	51.3 lbs
WEIGHT WITH BRACKETS	69.3 lbs



PLAN

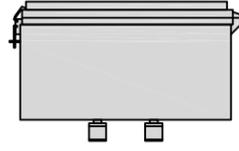


SIDE

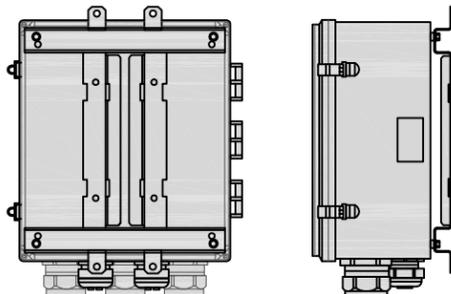


FRONT

RAYCAP RDIDC-3045-PF-48 SURGE PROTECTION DEVICE (OVP)	
DIMENSIONS (HxWxD)	18.97"x16.21"x9.64"
WEIGHT	21 lbs



PLAN



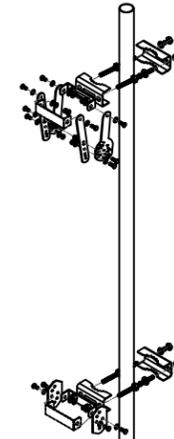
BACK

SIDE

FRONT

JMA ANTENNA MOUNT BRACKET #91900318	
TOTAL WEIGHT (WITH BRACKETS)	18 lbs (8.18 Kg)
POLE DIAMETER RANGE	2.5" TO 4.5"

NOTE:
KIT #91900318: TOP AND BOTTOM BRACKETS
FOR 4-, 6-, AND 8-FOOT ANTENNAS
ANTENNA BRACKET NOT PART OF KIT



NOTE:
OR DISH Wireless L.L.C.
APPROVED EQUIVALENT

ANTENNA DETAIL

NO SCALE

4

SURGE PROTECTION DEVICE DETAIL (OVP)

NO SCALE

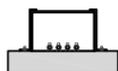
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ANTENNA BRACKET DETAIL

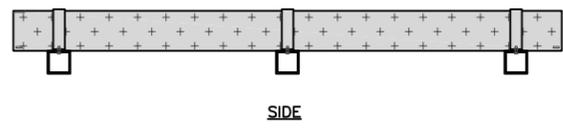
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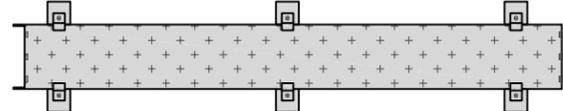
COMMSCOPE RT-CB4D ROOFTOP COVER KIT		MOUNTING	NON-PENETRATING
DIMENSIONS (HxWxL)	7"x 11.25"x 96"	INCLUDED PRODUCTS:	RTCB4D.01 CHANNEL (1)
WEIGHT/ VOLUME	85.98 LBS		MT-F1598 SLEEPERS (3)
CABLE RUN (QTY)	4		RTCUH HARDWARE
			RTHC.01 HOLD-DOWN CLAMPS (6)



END



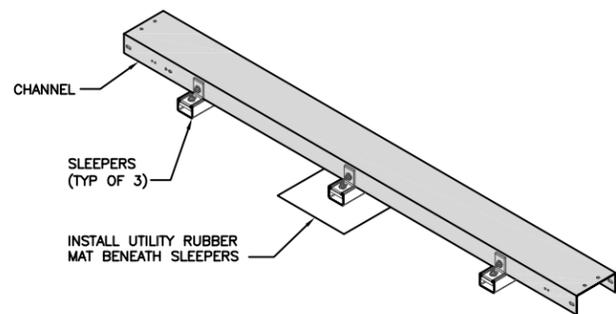
SIDE



PLAN

COMMSCOPE MT-F1543 ROOFTOP CABLE BRIDGE KIT	
DIMENSIONS (HxWxL)	7"x30"x96"
WEIGHT	112.3 lbs
CABLE RUN, QUANTITY	8

NOTE: NON-PENETRATING, 12-GAUGE COVER, OR APPROVED EQUAL. INCLUDES: CHANNEL, HARDWARE AND (3) SLEEPERS

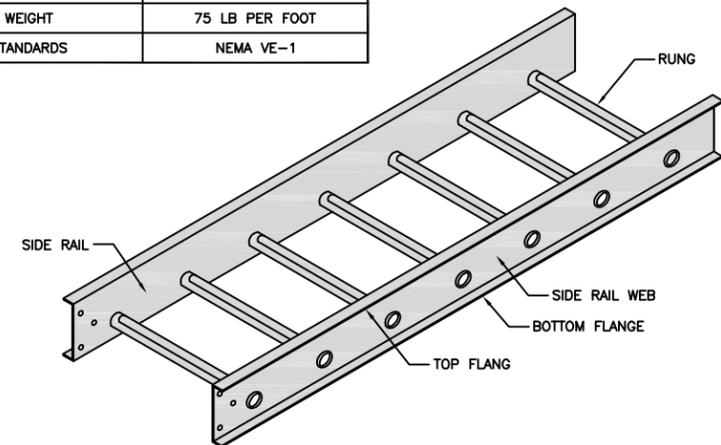


CHANNEL

SLEEPERS
(TYP OF 3)

INSTALL UTILITY RUBBER
MAT BENEATH SLEEPERS

COPE 1B48-12SL-12-09 ROOFTOP LADDER TRAY	
DIMENSIONS (HxWxL)	5.25"x12"x12'
WEIGHT	75 LB PER FOOT
STANDARDS	NEMA VE-1



SIDE RAIL

RUNG

SIDE RAIL WEB

BOTTOM FLANGE

TOP FLANGE

ROOFTOP CABLE TRAY DETAIL

NO SCALE

7

WALL MOUNTED CABLE TRAY DETAIL

NO SCALE

8

ROOFTOP LADDER TRAY DETAIL

NO SCALE

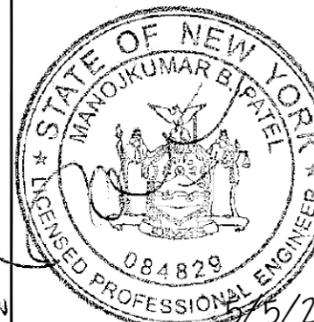
9

dish
wireless.

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NM JQ MP

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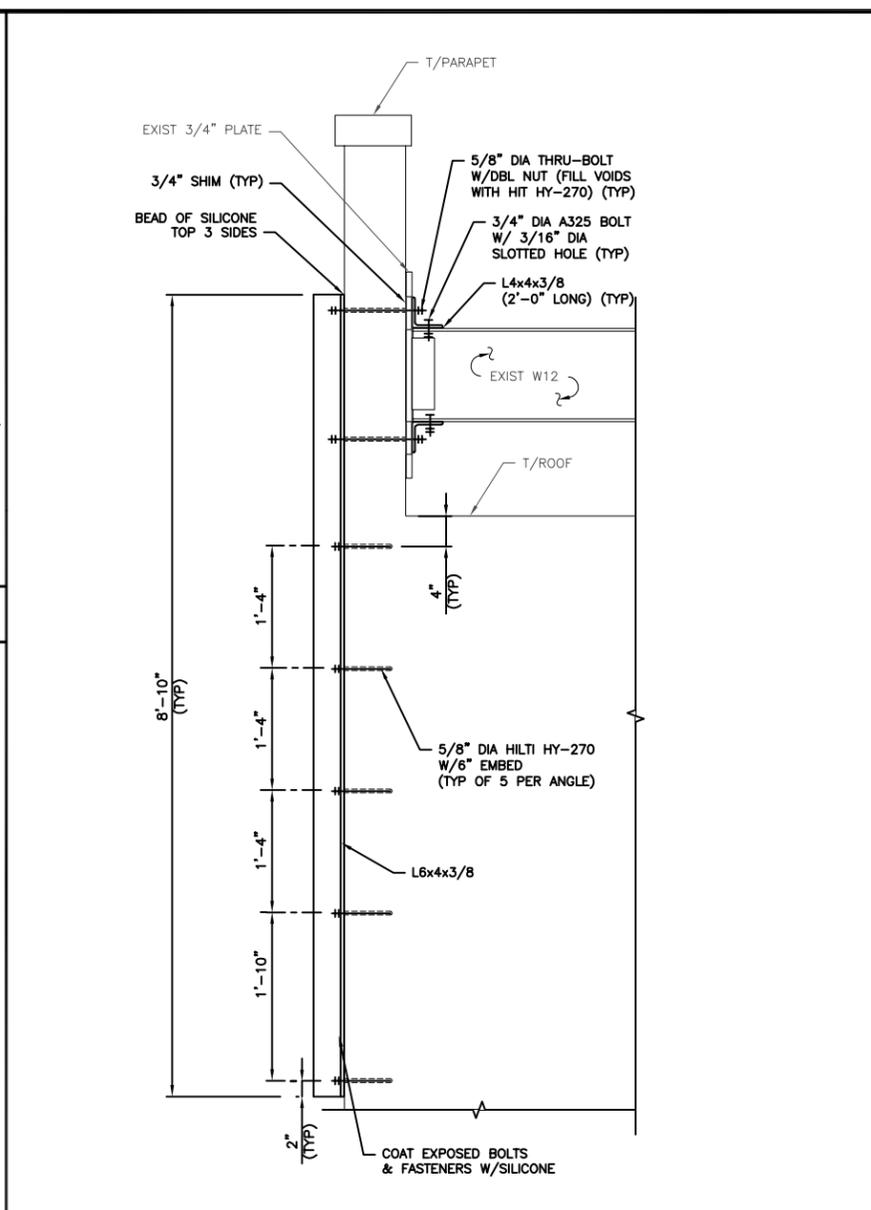
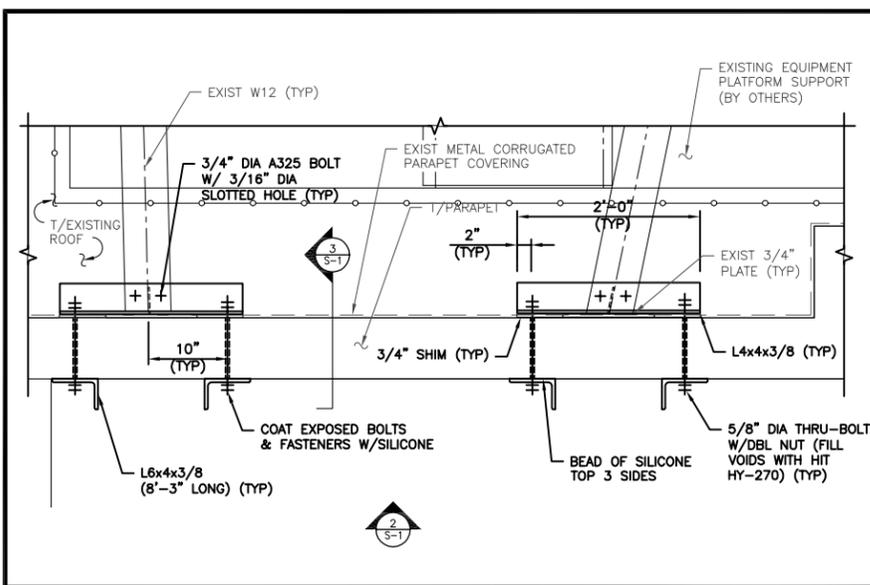
DISH Wireless L.L.C.
PROJECT INFORMATION
NJER01023C

66 MILTON ROAD
RYE, NY 10580-3850

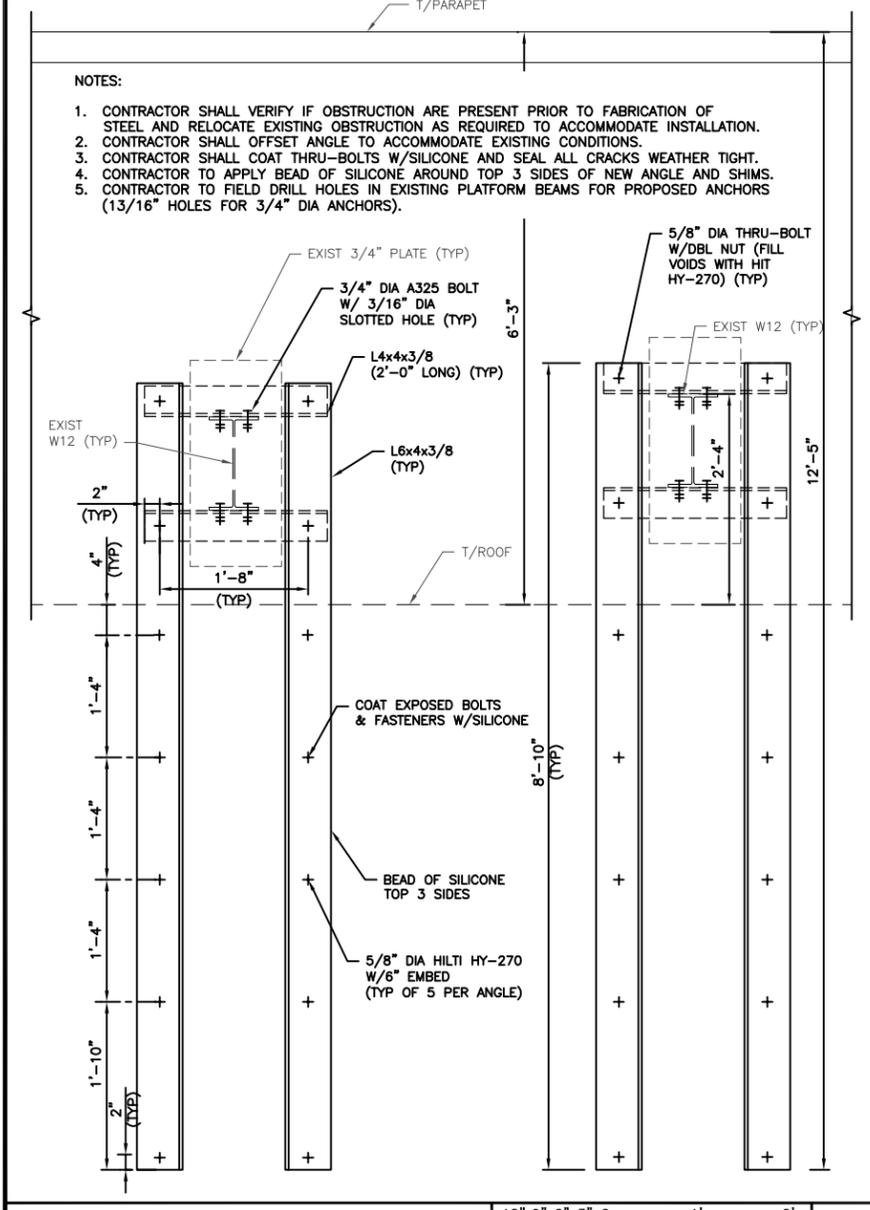
SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER

A-7



CONNECTION MODIFICATION DETAIL 12" 9" 6" 3" 0 1' 2" 1"=1'-0" 1



CONNECTION MODIFICATION ELEVATION 12" 9" 6" 3" 0 1' 2" 1"=1'-0" 2

CONNECTION MODIFICATION SECTION 12" 9" 6" 3" 0 1' 2" 1"=1'-0" 3

NOT USED NO SCALE 4

NOT USED NO SCALE 5

NOT USED NO SCALE 6



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66 MILTON ROAD
RYE, NY 10580-3850

SHEET TITLE
PLATFORM MODIFICATION

SHEET NUMBER
S-1

dish
wireless.

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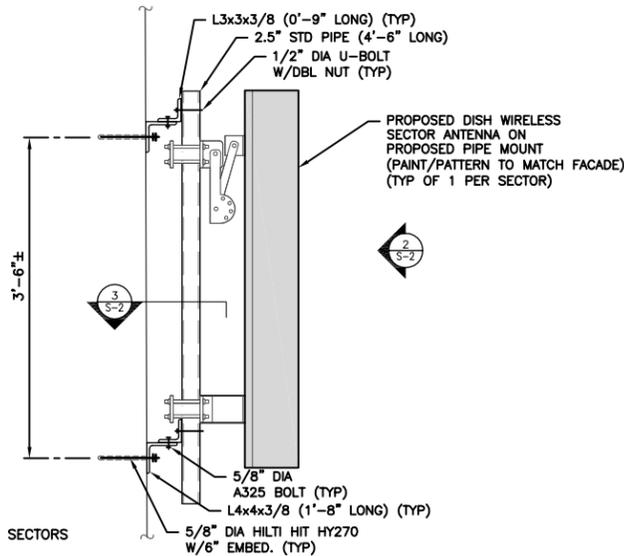
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RYE, NY 10580-3850

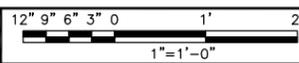
SHEET TITLE
ANTENNA MOUNT DETAILS

SHEET NUMBER

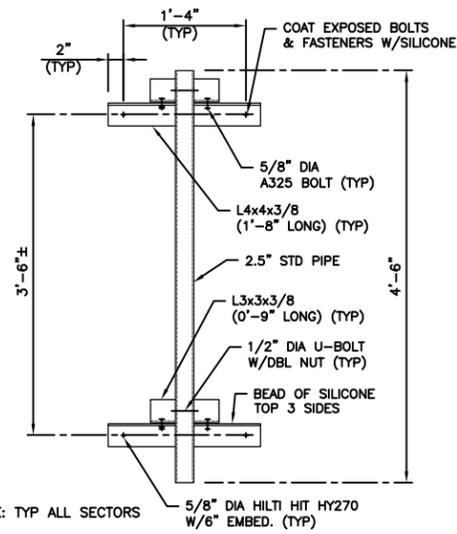
S-2



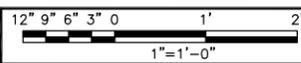
ANTENNA MOUNTING SECTION



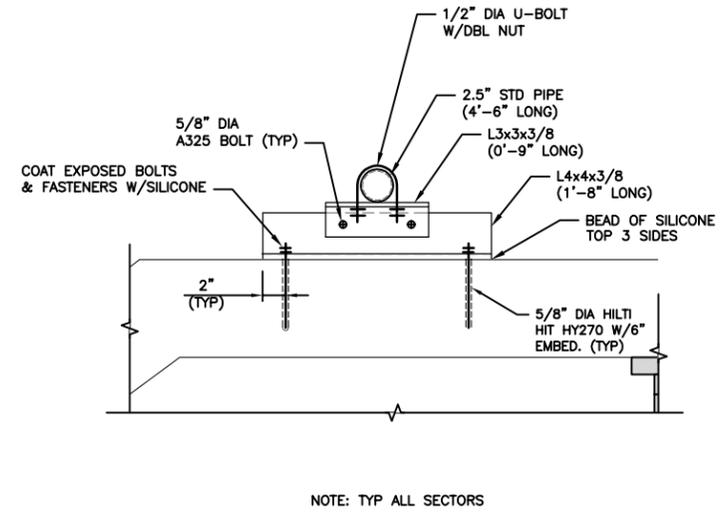
1



ANTENNA MOUNTING DETAIL



2



ANTENNA MOUNTING SECTION



3

NOT USED

NO SCALE

4

NOT USED

NO SCALE

5

NOT USED

NO SCALE

6

NOT USED

NO SCALE

7

NOT USED

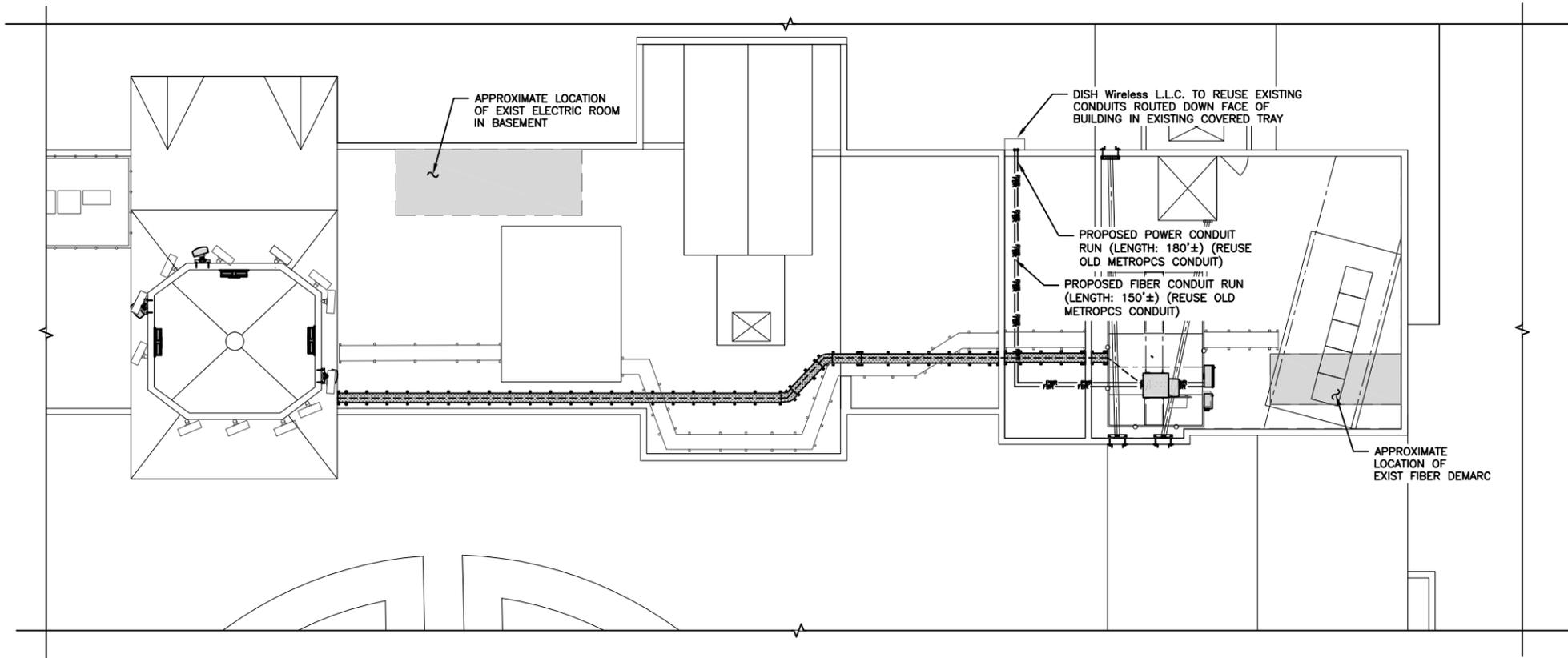
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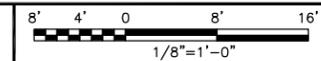
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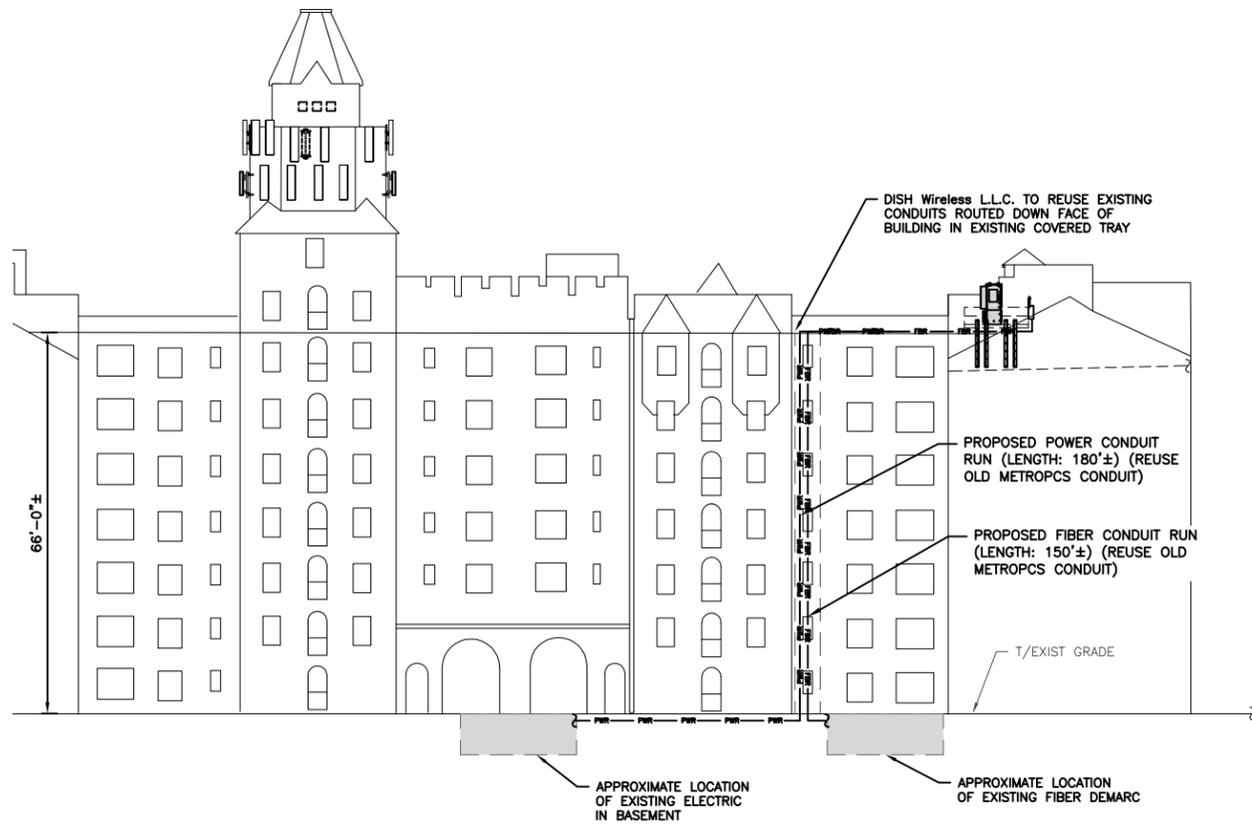
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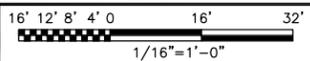
UTILITY ROUTE PLAN - ROOF



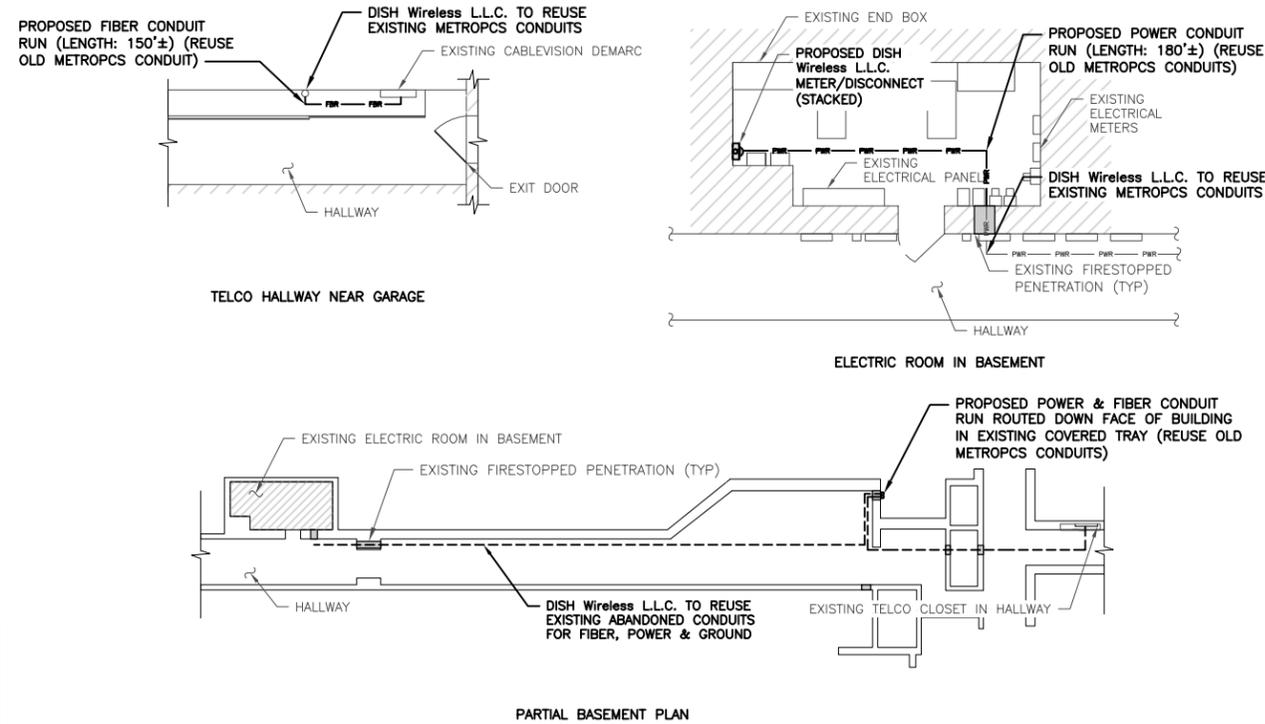
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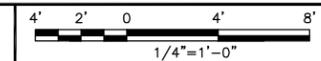
UTILITY ROUTE ELEVATION



2



FIBER/ELECTRICAL PLANS



3

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DISH Wireless L.L.C.
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66 MILTON ROAD
RYE, NY 10580-3850

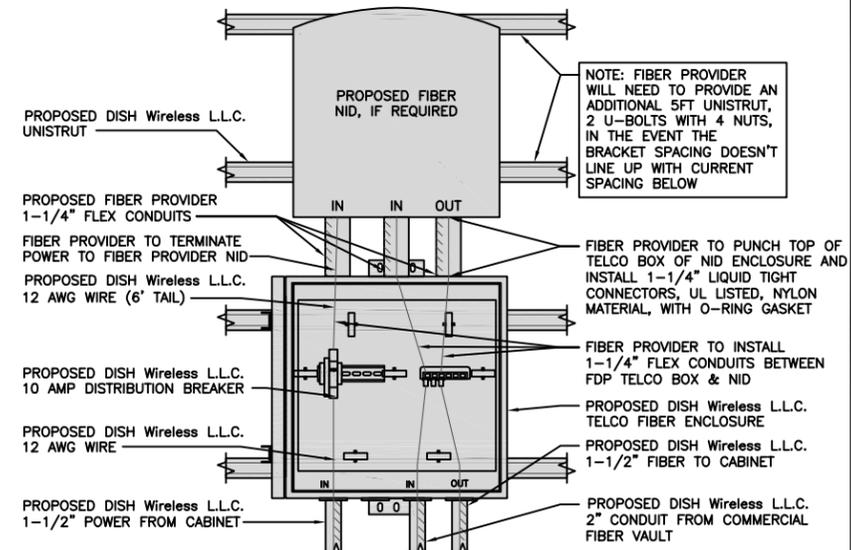
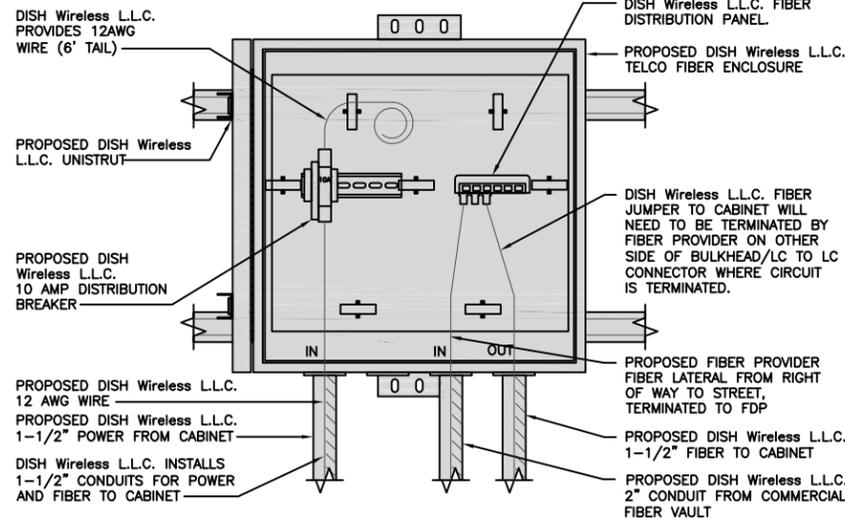
SHEET TITLE
ELECTRICAL/FIBER
ROUTE PLAN

SHEET NUMBER

E-1

DC POWER WIRING SHALL BE COLOR CODED AT EACH END FOR IDENTIFYING +24V AND -48V CONDUCTORS. RED MARKINGS SHALL IDENTIFY +24V AND BLUE MARKINGS SHALL IDENTIFY -48V.

- CONTRACTOR SHALL INSPECT THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID. ANY QUESTIONS ARISING DURING THE BID PERIOD IN REGARDS TO THE CONTRACTOR'S FUNCTIONS, THE SCOPE OF WORK, OR ANY OTHER ISSUE RELATED TO THIS PROJECT SHALL BE BROUGHT UP DURING THE BID PERIOD WITH THE PROJECT MANAGER FOR CLARIFICATION, NOT AFTER THE CONTRACT HAS BEEN AWARDED.
- ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT NATIONAL ELECTRICAL CODES AND ALL STATE AND LOCAL CODES, LAWS, AND ORDINANCES. PROVIDE ALL COMPONENTS AND WIRING SIZES AS REQUIRED TO MEET NEC STANDARDS.
- LOCATION OF EQUIPMENT, CONDUIT AND DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE COORDINATED WITH FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- CONDUIT ROUGH-IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION CONFLICTS. VERIFY WITH THE MECHANICAL EQUIPMENT CONTRACTOR AND COMPLY AS REQUIRED.
- CONTRACTOR SHALL PROVIDE ALL BREAKERS, CONDUITS AND CIRCUITS AS REQUIRED FOR A COMPLETE SYSTEM.
- CONTRACTOR SHALL PROVIDE PULL BOXES AND JUNCTION BOXES AS REQUIRED BY THE NEC ARTICLE 314.
- CONTRACTOR SHALL PROVIDE ALL STRAIN RELIEF AND CABLE SUPPORTS FOR ALL CABLE ASSEMBLIES.
- INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- ALL DISCONNECTS AND CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED PHENOLIC NAMEPLATES INDICATING EQUIPMENT CONTROLLED, BRANCH CIRCUITS INSTALLED ON, AND PANEL FIELD LOCATIONS FED FROM.
- INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS PER THE SPECIFICATIONS AND NEC 250. THE EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED AT ALL JUNCTION BOXES, PULL BOXES, AND ALL DISCONNECT SWITCHES, AND EQUIPMENT CABINETS.
- ALL NEW MATERIAL SHALL HAVE A U.L. LABEL.
- PANEL SCHEDULE LOADING AND CIRCUIT ARRANGEMENTS REFLECT POST-CONSTRUCTION EQUIPMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AS-BUILT PANEL SCHEDULE AND SITE DRAWINGS.



ELECTRICAL NOTES

NO SCALE 1

DARK TELCO BOX - INTERIOR WIRING LAYOUT

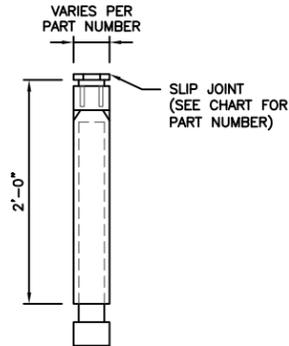
NO SCALE 2

LIT TELCO BOX - INTERIOR WIRING LAYOUT (OPTIONAL)

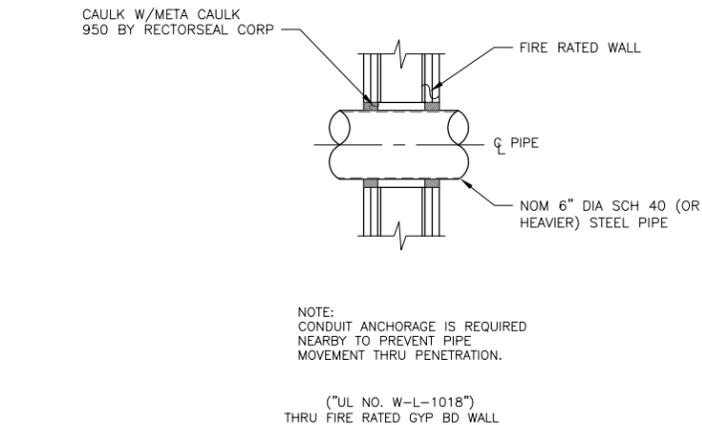
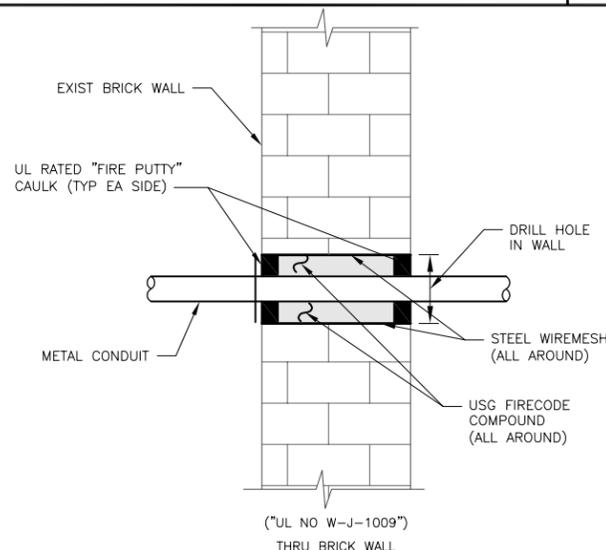
NO SCALE 3

CARLON EXPANSION FITTINGS

COUPLING END PART#	MALE TERMINAL ADAPTER END PART#	SIZE	STD CTN QTY.	TRAVEL LENGTH
E945D	E945DX	1/2"	20	4"
E945E	E945EX	3/4"	15	4"
E945F	E945FX	1"	10	4"
E945G	E945GX	1 1/4"	5	4"
E945H	E945HX	1 1/2"	5	4"
E945J	E945JX	2"	15	8"
E945K	E945KX	2 1/2"	10	8"
E945L	E945LX	3"	10	8"
E945M	E945MX	3 1/2"	5	8"
E945N	E945NX	4"	5	8"
E945P	E945PX	5"	1	8"
E945R	E945RX	6"	1	8"



NOTE: CONTRACTOR TO INSTALL EXPANSION FITTING SLIP JOINT AT METER CENTER CONDUIT TERMINATION, AS PER LOCAL UTILITY POLICY, ORDINANCE AND/OR SPECIFIED REQUIREMENT.



EXPANSION JOINT DETAIL

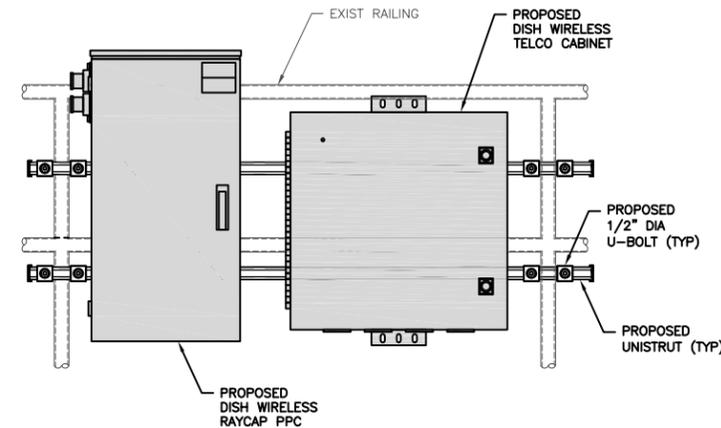
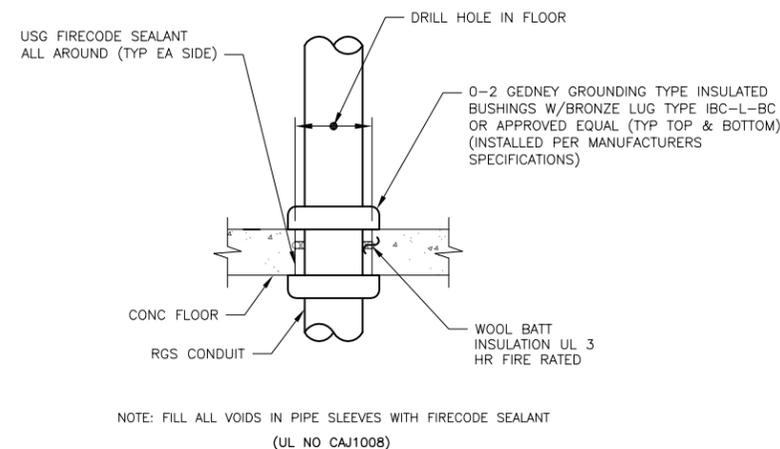
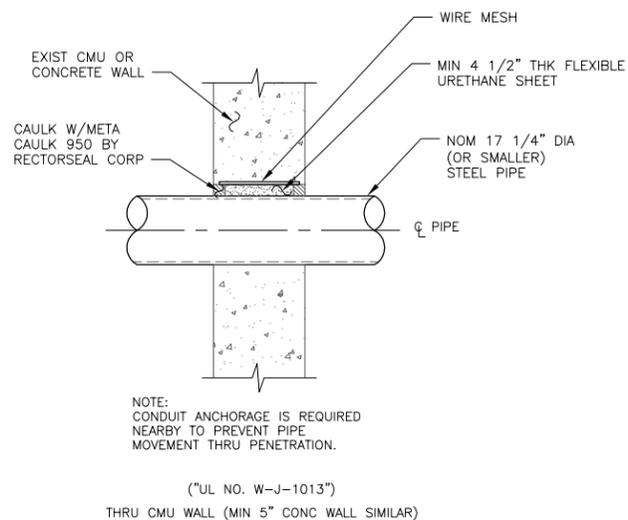
NO SCALE 4

WALL PENETRATION DETAIL

NO SCALE 5

WALL PENETRATION DETAIL

NO SCALE 6



WALL PENETRATION DETAIL

NO SCALE 7

FLOOR PENETRATION DETAIL

NO SCALE 8

PPC AND TELCO CONNECTION DETAIL

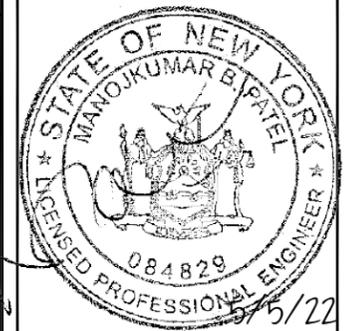
NO SCALE 9



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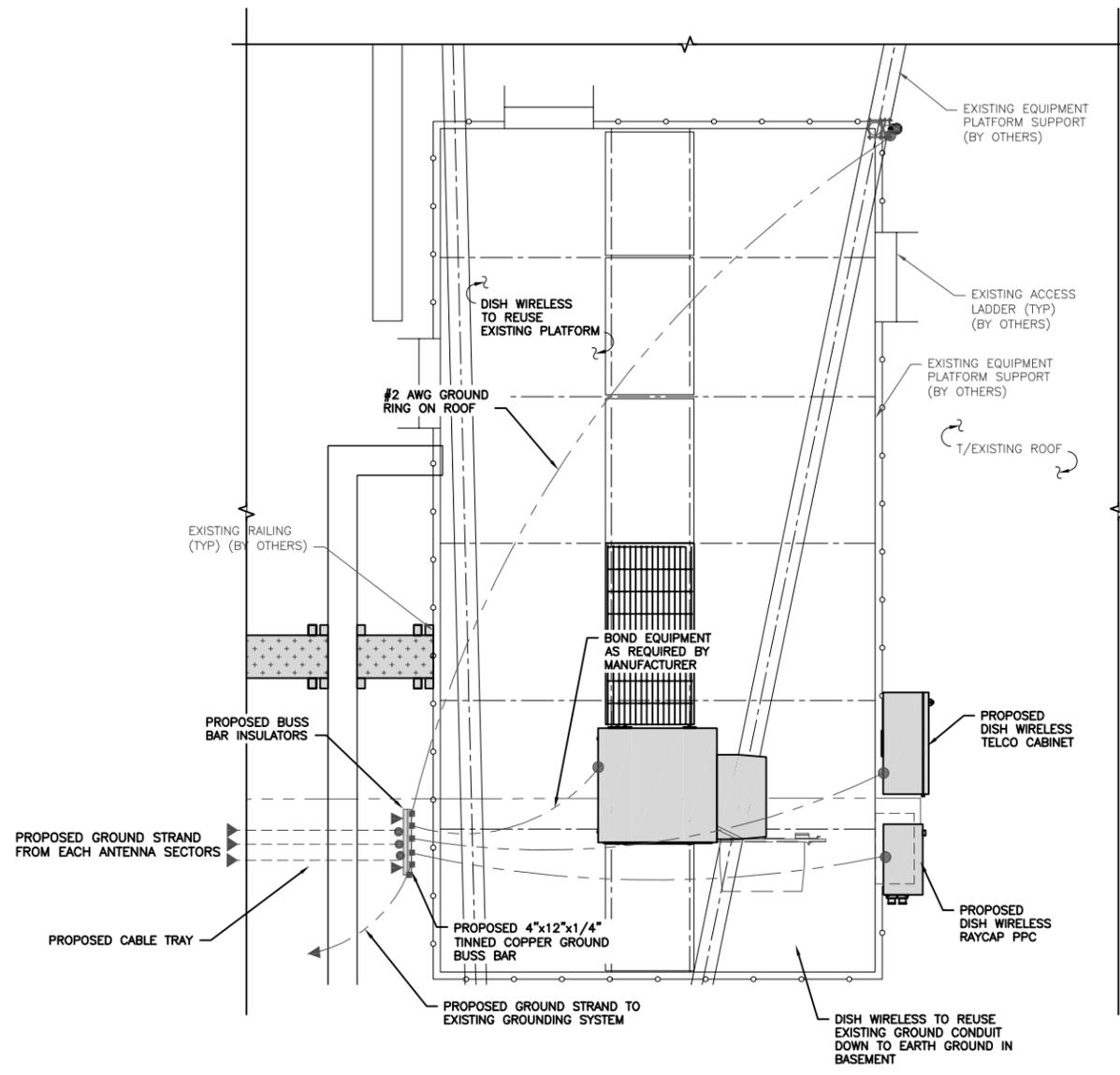
A&E PROJECT NUMBER
10710.NJJER01023C

DISH Wireless L.L.C.
PROJECT INFORMATION
NJJER01023C

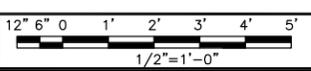
66 MILTON ROAD
RYE, NY 10580-3850

SHEET TITLE
ELECTRICAL & NOTES
DETAILS

SHEET NUMBER
E-2



GROUNDING PLAN



GROUNDING LEGEND

1. GROUNDING IS SHOWN DIAGRAMMATICALLY ONLY.
2. CONTRACTOR SHALL GROUND ALL EQUIPMENT AS A COMPLETE SYSTEM. GROUNDING SHALL BE IN COMPLIANCE WITH NEC SECTION 250 AND DISH Wireless L.L.C. GROUNDING AND BONDING REQUIREMENTS AND MANUFACTURER'S SPECIFICATIONS.
3. ALL GROUND CONDUCTORS SHALL BE COPPER; NO ALUMINUM CONDUCTORS SHALL BE USED.
4. NO EXOTHERMIC WELDING ON ROOFTOP

GROUNDING ROOFTOP KEY NOTES

- (A) **EXTERIOR GROUND RING:** #2 AWG SOLID COPPER, BURIED AT A DEPTH OF AT LEAST 30 INCHES BELOW GRADE, OR 6 INCHES BELOW THE FROST LINE AND APPROXIMATELY 24 INCHES FROM THE EXTERIOR WALL OR FOOTING.
- (B) **ROOFTOP GROUND SYSTEM:** THE GROUND SYSTEM USING MINIMUM #2 AWG SOLID COPPER CONDUCTORS.
- (C) **INTERIOR GROUND RING:** #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTOR EXTENDED AROUND THE PERIMETER OF THE EQUIPMENT AREA. ALL NON-TELECOMMUNICATIONS RELATED METALLIC OBJECTS FOUND WITHIN A SITE SHALL BE GROUNDED TO THE INTERIOR GROUND RING WITH #6 AWG STRANDED GREEN INSULATED CONDUCTOR.
- (D) **BOND TO INTERIOR GROUND RING:** #2 AWG SOLID TINNED COPPER WIRE PRIMARY BONDS SHALL BE PROVIDED AT LEAST AT FOUR POINTS ON THE INTERIOR GROUND RING, LOCATED AT THE CORNERS OF THE BUILDING OR ROOM.
- (E) **GROUND ROD:** UL LISTED COPPER CLAD STEEL. MINIMUM 1/2" DIAMETER BY EIGHT FEET LONG. GROUND RODS SHALL BE INSTALLED WITH INSPECTION SLEEVES. GROUND RODS SHALL BE DRIVEN TO THE DEPTH OF GROUND RING CONDUCTOR.
- (F) **CELL REFERENCE GROUND BAR (CRGB):** POINT OF GROUND REFERENCE FOR ALL COMMUNICATIONS EQUIPMENT FRAMES. ALL BONDS ARE MADE WITH #2 AWG UNLESS NOTED OTHERWISE STRANDED GREEN INSULATED COPPER CONDUCTORS. BOND TO COMMON BUILDING GROUND SYSTEM WITH (2) #2 SOLID TINNED COPPER CONDUCTORS.
- (G) **HATCH PLATE GROUND BAR:** BOND TO THE COMMON BUILDING GROUND SYSTEM WITH TWO #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS. WHEN A HATCH-PLATE AND A CELL REFERENCE GROUND BAR ARE BOTH PRESENT, THE CRGB MUST BE CONNECTED TO THE HATCH-PLATE AND TO THE INTERIOR GROUND RING USING (2) TWO #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS EACH.
- (H) **EXTERIOR CABLE ENTRY PORT GROUND BARS:** LOCATED AT THE ENTRANCE TO THE CELL SITE ROOM. BOND TO GROUND RING WITH A #2 AWG SOLID TINNED COPPER CONDUCTORS WITH MECHANICAL CONNECTIONS.
- (I) **TELCO GROUND BAR:** BOND TO BOTH CELL REFERENCE GROUND BAR OR EXTERIOR GROUND RING.
- (J) **FRAME BONDING:** THE BONDING POINT FOR TELECOM EQUIPMENT FRAMES SHALL BE THE GROUND BUS THAT IS NOT ISOLATED FROM THE EQUIPMENTS METAL FRAMEWORK.
- (K) **INTERIOR UNIT BONDS:** METAL FRAMES, CABINETS AND INDIVIDUAL METALLIC UNITS LOCATED WITH THE AREA OF THE INTERIOR GROUND RING REQUIRE A #6 AWG STRANDED GREEN INSULATED COPPER BOND TO THE INTERIOR GROUND RING.
- (L) **FENCE AND GATE GROUNDING:** METAL FENCES SHALL BE BONDED TO THE COMMON BUILDING GROUND SYSTEM WITH A #2 AWG SOLID TINNED COPPER CONDUCTOR AT AN INTERVAL NOT EXCEEDING 25 FEET. BONDS SHALL BE MADE AT EACH GATE POST AND ACROSS GATE OPENINGS.
- (M) **EXTERIOR UNIT BONDS:** METALLIC OBJECTS, EXTERNAL TO OR MOUNTED TO THE BUILDING, SHALL BE BONDED TO THE COMMON BUILDING GROUND SYSTEM. USING #2 TINNED SOLID COPPER WIRE
- (N) **ICE BRIDGE SUPPORTS:** EACH ICE BRIDGE LEG SHALL BE BONDED TO THE GROUND RING WITH #2 AWG BARE TINNED COPPER CONDUCTOR. PROVIDE EXOTHERMIC WELDS AT BOTH THE ICE BRIDGE LEG AND BURIED GROUND RING.
- (O) **DURING ALL DC POWER SYSTEM CHANGES INCLUDING DC SYSTEM CHANGE OUTS, RECTIFIER REPLACEMENTS OR ADDITIONS, BREAKER DISTRIBUTION CHANGES, BATTERY ADDITIONS, BATTERY REPLACEMENTS AND INSTALLATIONS OR CHANGES TO DC CONVERTER SYSTEMS IT SHALL BE REQUIRED THAT SERVICE CONTRACTORS VERIFY ALL DC POWER SYSTEMS ARE EQUIPPED WITH A MASTER DC SYSTEM RETURN GROUND CONDUCTOR FROM THE DC POWER SYSTEM COMMON RETURN BUS DIRECTLY CONNECTED TO THE CELL SITE REFERENCE GROUND BAR**
- (P) **ROOFTOP COLLECTOR BUSS BAR IS TO BE MECHANICALLY BONDED TO COMMON BUILDING GROUND SYSTEM. REFER TO DISH Wireless L.L.C. GROUNDING NOTES.**

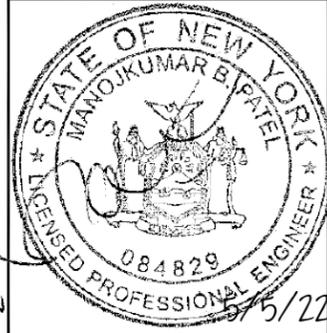
GROUNDING KEY NOTES



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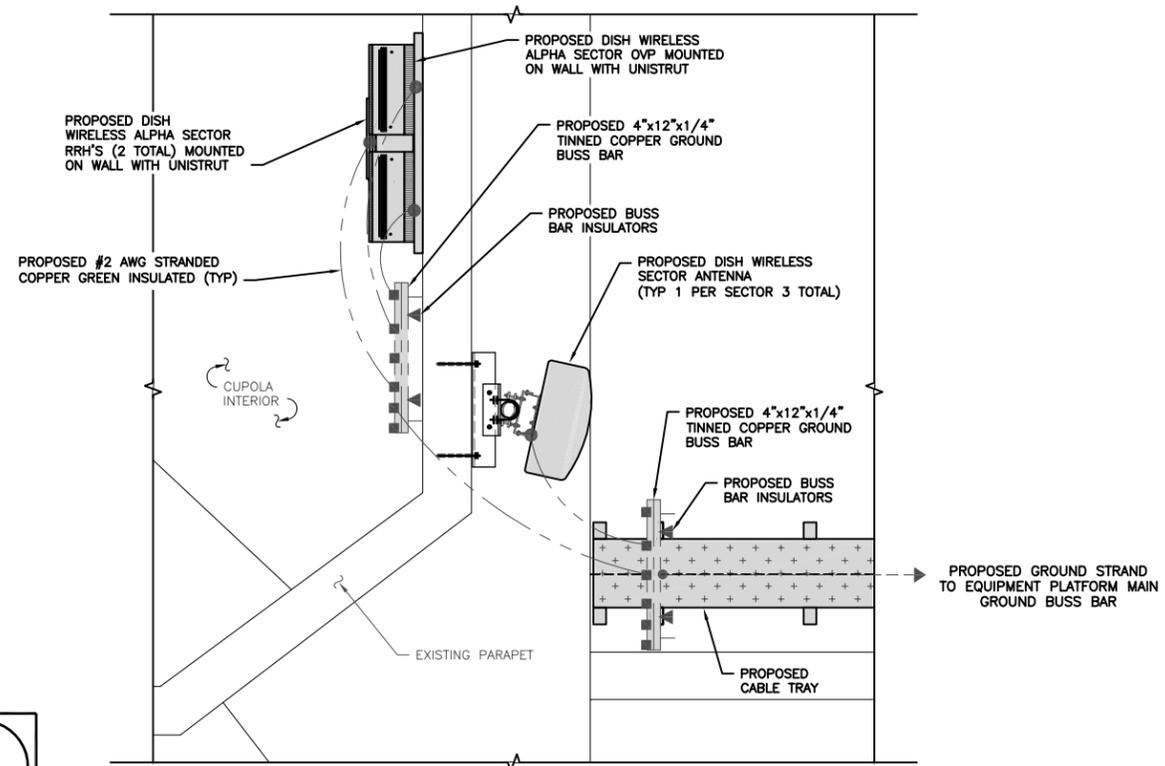
66 MILTON ROAD
RYE, NY 10580-3850

SHEET TITLE
GROUNDING PLANS
AND NOTES

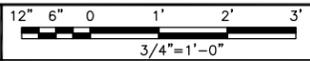
SHEET NUMBER
G-1

NOTE

EQUIPMENT CABINET OMITTED FOR CLARITY



TYPICAL ROOFTOP ANTENNA GROUNDING PLAN



1

NOT USED

NO SCALE

2

NOT USED

NO SCALE

3

NOT USED

NO SCALE

4



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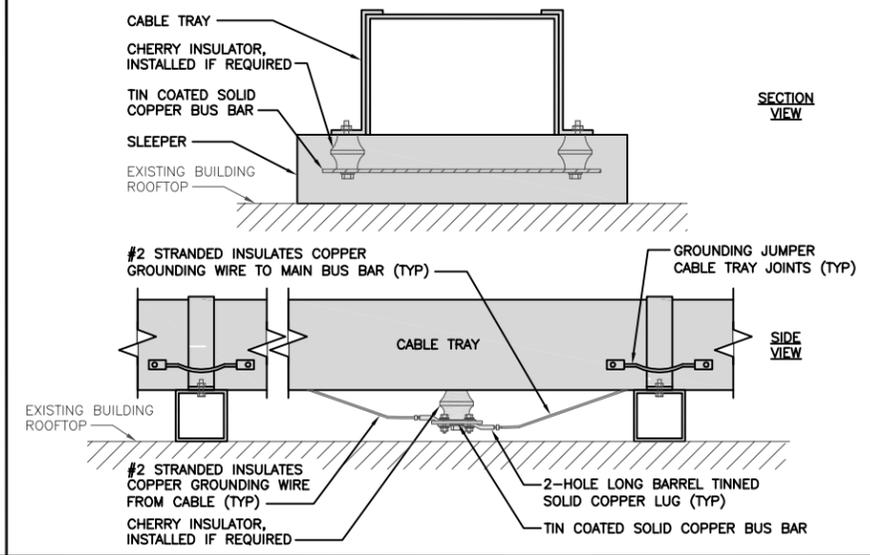
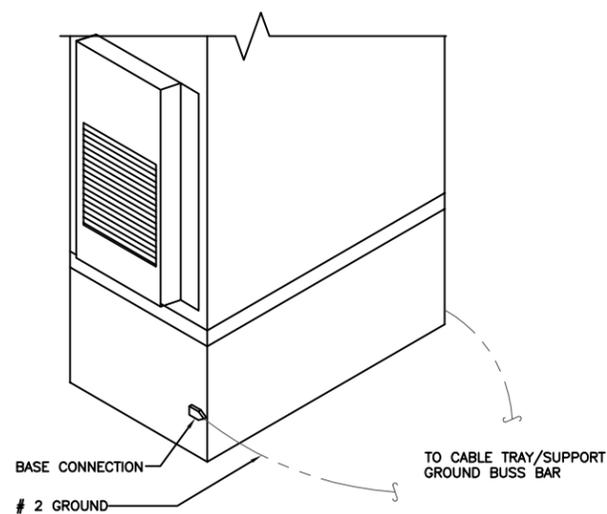
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PROJECT INFORMATION
NJJER01023C
66 MILTON ROAD
RYE, NY 10580-3850

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-2

1. EXOTHERMIC WELD (2) TWO, #2 AWG BARE TINNED SOLID COPPER CONDUCTORS TO GROUND BAR. ROUTE CONDUCTORS TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
2. ALL EXTERIOR GROUNDING HARDWARE SHALL BE STAINLESS STEEL 3/8" DIAMETER OR LARGER. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING LOCK WASHERS, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
3. FOR GROUND BOND TO STEEL ONLY: COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
4. DO NOT INSTALL CABLE GROUNDING KIT AT A BEND AND ALWAYS DIRECT GROUND CONDUCTOR DOWN TO GROUNDING BUS.
5. NUT & WASHER SHALL BE PLACED ON THE FRONT SIDE OF THE GROUND BAR AND BOLTED ON THE BACK SIDE.
6. ALL GROUNDING PARTS AND EQUIPMENT TO BE SUPPLIED AND INSTALLED BY CONTRACTOR.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ADDITIONAL GROUND BAR AS REQUIRED.
8. ENSURE THE WIRE INSULATION TERMINATION IS WITHIN 1/8" OF THE BARREL (NO SHINERS).



TYPICAL GROUNDING NOTES

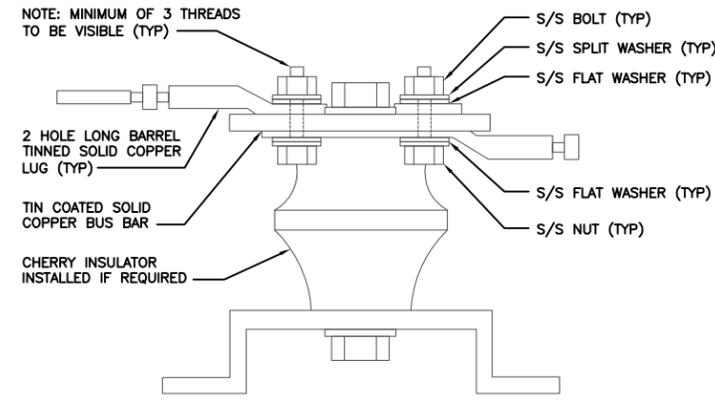
NO SCALE 1

OUTDOOR CABINET GROUNDING

NO SCALE 2

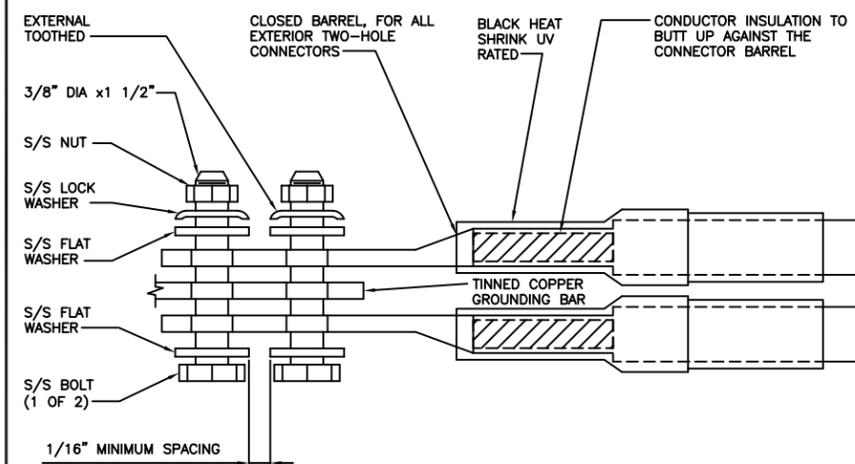
TYPICAL CABLE TRAY GROUND BUSS BAR

NO SCALE 3



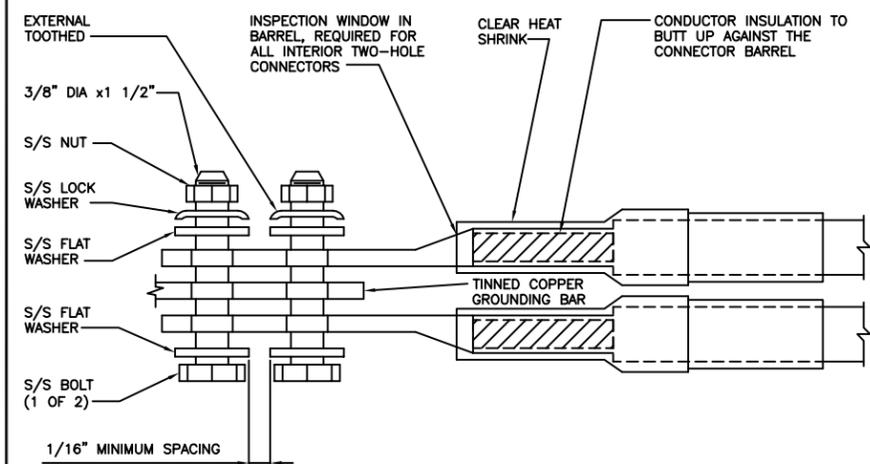
LUG DETAIL

NO SCALE 4



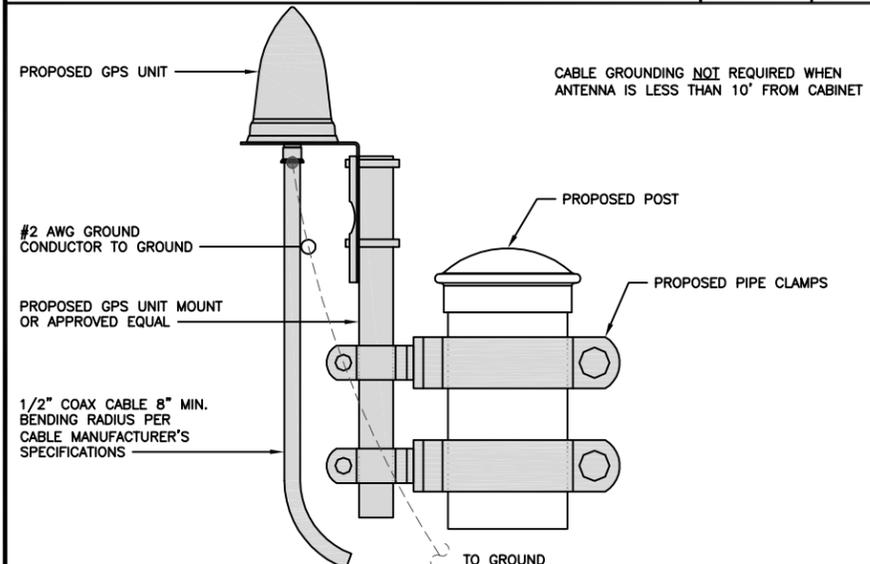
TYPICAL EXTERIOR TWO HOLE LUG

NO SCALE 5



TYPICAL INTERIOR TWO HOLE LUG

NO SCALE 6



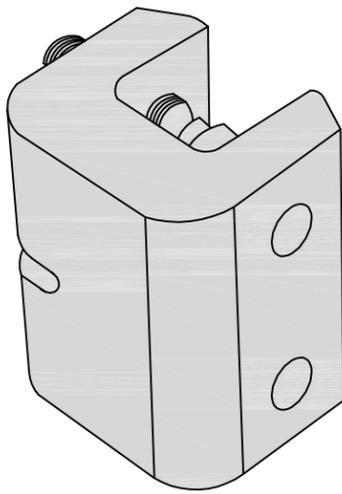
TYPICAL GPS UNIT GROUNDING

NO SCALE 7

PANDUIT GUBC500-6 UNIVERSAL BEAM GROUNDING, CLAMP

COPPER CONDUCTOR SIZE RANGE AWG	#6-500
FLANGE THICKNESS INCHES	0.250-0.675
STUD SIZE INCHES	1/2"
THREAD SIZE	1/2"-13
DIMENSIONS (LxWxH)	3.15"x 2.13"x 2.50"

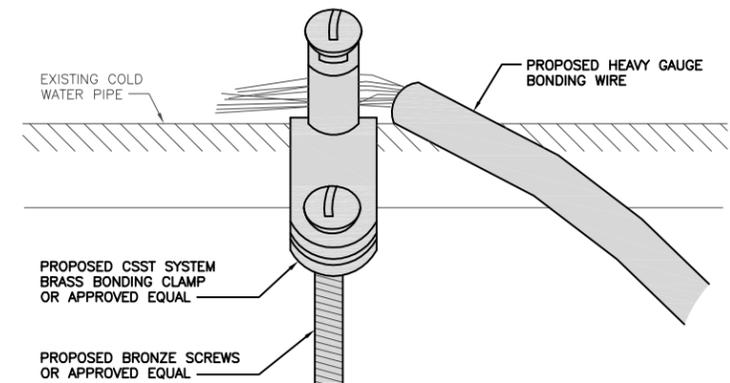
NOTE:
1. UNIVERSAL, FITS ON A WIDE RANGE OF STANDARD (ANGLED) AND WIDE FLANGE (PARALLEL) STRUCTURAL STEEL BEAMS.
2. UL 467 LISTED FOR GROUNDING AND BONDING ONLY



BUILDING STEEL GROUNDING DETAIL

NO SCALE 8

NOTE
REMOVE ANY PAINT ON PIPE OR FITTING SURFACE UNDER BONDING CLAMP.



TYPICAL COLD WATER CONDUIT GROUNDING DETAIL

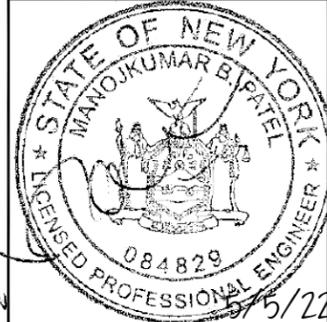
NO SCALE 9



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DISH Wireless L.L.C.
PROJECT INFORMATION
NJER01023C

66 MILTON ROAD
RYE, NY 10580-3850

SHEET TITLE
GROUNDING DETAILS

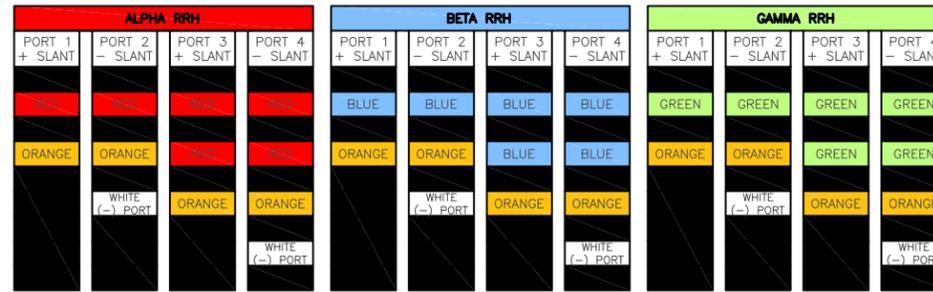
SHEET NUMBER
G-3

RF JUMPER COLOR CODING

3/4" TAPE WIDTHS WITH 3/4" SPACING

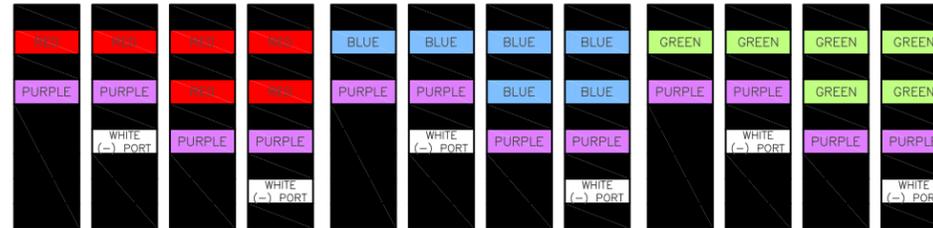
LOW-BAND RRH -
(600MHz N71 BASEBAND) +
(850MHz N26 BAND) +
(700MHz N29 BAND) - OPTIONAL PER MARKET

ADD FREQUENCY COLOR TO SECTOR BAND
(CBRS WILL USE YELLOW BANDS)



MID-BAND RRH -
(AWS BANDS N66+N70)

ADD FREQUENCY COLOR TO SECTOR BAND
(CBRS WILL USE YELLOW BANDS)

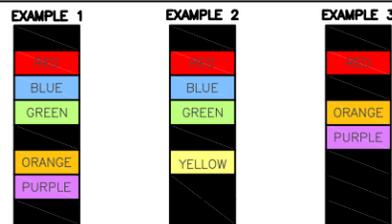


HYBRID/DISCREET CABLES

INCLUDE SECTOR BANDS BEING SUPPORTED
ALONG WITH FREQUENCY BANDS

EXAMPLE 1 - HYBRID, OR DISCREET, SUPPORTS
ALL SECTORS, BOTH LOW-BANDS AND MID-BANDS

EXAMPLE 2 - HYBRID, OR DISCREET, SUPPORTS
CBRS ONLY, ALL SECTORS



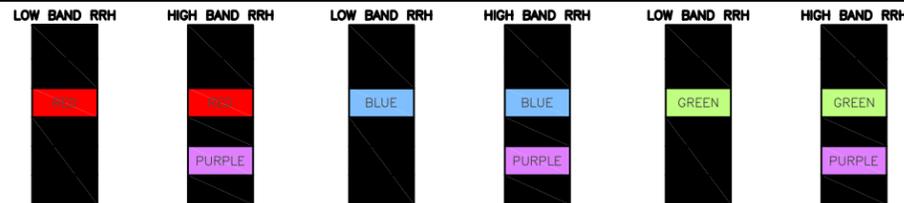
FIBER JUMPERS TO RRHs

LOW-BAND RRH FIBER CABLES HAVE SECTOR
STRIPE ONLY

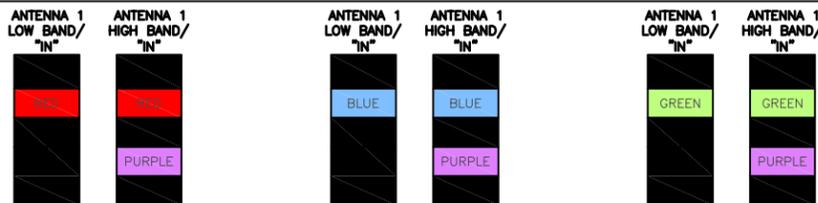


POWER CABLES TO RRHs

LOW-BAND RRH POWER CABLES HAVE SECTOR
STRIPE ONLY



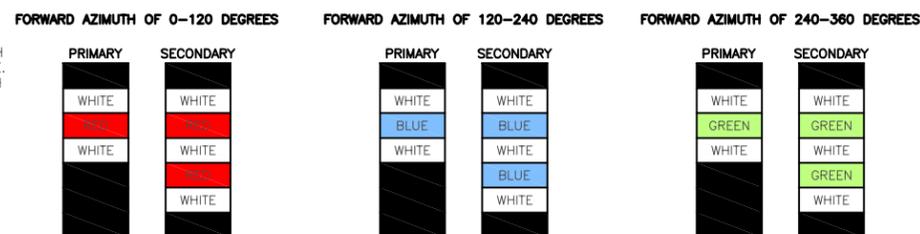
RET MOTORS AT ANTENNAS



MICROWAVE RADIO LINKS

LINKS WILL HAVE A 1.5-2 INCH WHITE WRAP WITH
THE AZIMUTH COLOR OVERLAPPING IN THE MIDDLE.
ADD ADDITIONAL SECTOR COLOR BANDS FOR EACH
ADDITIONAL MW RADIO.

MICROWAVE CABLES WILL REQUIRE P-TOUCH
LABELS INSIDE THE CABINET TO IDENTIFY THE
LOCAL AND REMOTE SITE ID'S



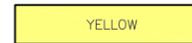
LOW BANDS (N71+N26)
OPTIONAL - (N29)



AWS
(N66+N70+H-BLOCK)



CBRS TECH
(3 GHz)



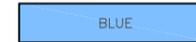
NEGATIVE SLANT PORT
ON ANT/RRH



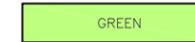
ALPHA SECTOR



BETA SECTOR



GAMMA SECTOR



COLOR IDENTIFIER

NO SCALE

2

NOT USED

NO SCALE

3

RF CABLE COLOR CODES

NO SCALE

1

NOT USED

NO SCALE

4



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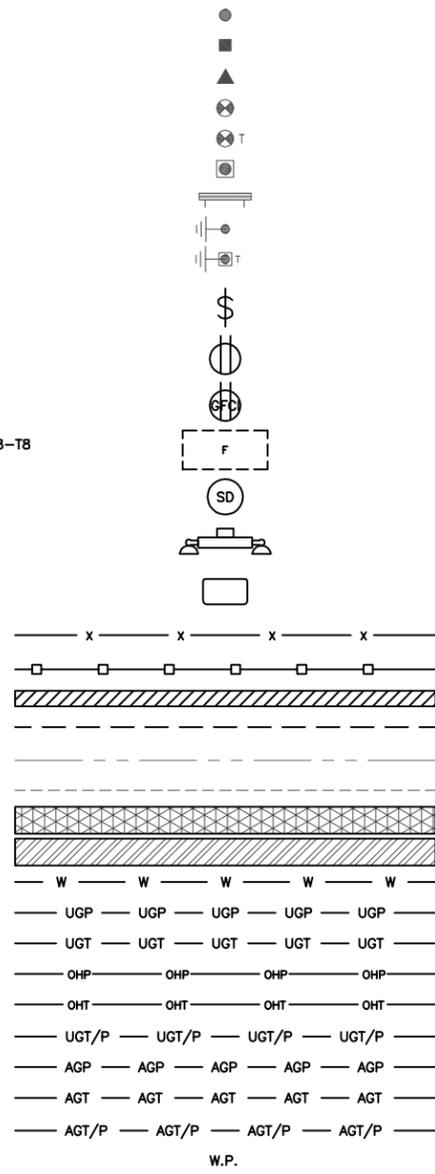
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NJER01023C

66 MILTON ROAD
RYE, NY 10580-3850

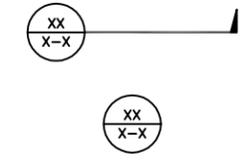
SHEET TITLE
RF
CABLE COLOR CODES

SHEET NUMBER
RF-1

EXOTHERMIC CONNECTION
 MECHANICAL CONNECTION
 BUSS BAR INSULATOR
 CHEMICAL ELECTROLYTIC GROUNDING SYSTEM
 TEST CHEMICAL ELECTROLYTIC GROUNDING SYSTEM
 EXOTHERMIC WITH INSPECTION SLEEVE
 GROUNDING BAR
 GROUND ROD
 TEST GROUND ROD WITH INSPECTION SLEEVE
 SINGLE POLE SWITCH
 DUPLEX RECEPTACLE
 DUPLEX GFCI RECEPTACLE
 FLUORESCENT LIGHTING FIXTURE (2) TWO LAMPS 48-T8
 SMOKE DETECTION (DC)
 EMERGENCY LIGHTING (DC)
 SECURITY LIGHT W/PHOTOCELL LITHONIA ALXW
 LED-1-25A400/51K-SR4-120-PE-DOBTD
 CHAIN LINK FENCE
 WOOD/WROUGHT IRON FENCE
 WALL STRUCTURE
 LEASE AREA
 PROPERTY LINE (PL)
 SETBACKS
 ICE BRIDGE
 CABLE TRAY
 WATER LINE
 UNDERGROUND POWER
 UNDERGROUND TELCO
 OVERHEAD POWER
 OVERHEAD TELCO
 UNDERGROUND TELCO/POWER
 ABOVE GROUND POWER
 ABOVE GROUND TELCO
 ABOVE GROUND TELCO/POWER
 WORKPOINT



SECTION REFERENCE
 DETAIL REFERENCE



LEGEND

AB	ANCHOR BOLT	IN	INCH
ABV	ABOVE	INT	INTERIOR
AC	ALTERNATING CURRENT	LB(S)	POUND(S)
ADDL	ADDITIONAL	LF	LINEAR FEET
AFF	ABOVE FINISHED FLOOR	LTE	LONG TERM EVOLUTION
AFG	ABOVE FINISHED GRADE	MAS	MASONRY
AGL	ABOVE GROUND LEVEL	MAX	MAXIMUM
AIC	AMPERAGE INTERRUPTION CAPACITY	MB	MACHINE BOLT
ALUM	ALUMINUM	MECH	MECHANICAL
ALT	ALTERNATE	MFR	MANUFACTURER
ANT	ANTENNA	MGB	MASTER GROUND BAR
APPROX	APPROXIMATE	MIN	MINIMUM
ARCH	ARCHITECTURAL	MISC	MISCELLANEOUS
ATS	AUTOMATIC TRANSFER SWITCH	MTL	METAL
AWG	AMERICAN WIRE GAUGE	MTS	MANUAL TRANSFER SWITCH
BATT	BATTERY	MW	MICROWAVE
BLDG	BUILDING	NEC	NATIONAL ELECTRIC CODE
BLK	BLOCK	NM	NEWTON METERS
BLKG	BLOCKING	NO.	NUMBER
BM	BEAM	#	NUMBER
BTC	BARE TINNED COPPER CONDUCTOR	NTS	NOT TO SCALE
BOF	BOTTOM OF FOOTING	OC	ON-CENTER
CAB	CABINET	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
CANT	CANTILEVERED	OPNG	OPENING
CHG	CHARGING	P/C	PRECAST CONCRETE
CLG	CEILING	PCS	PERSONAL COMMUNICATION SERVICES
CLR	CLEAR	PCU	PRIMARY CONTROL UNIT
COL	COLUMN	PRC	PRIMARY RADIO CABINET
COMM	COMMON	PP	POLARIZING PRESERVING
CONC	CONCRETE	PSF	POUNDS PER SQUARE FOOT
CONSTR	CONSTRUCTION	PSI	POUNDS PER SQUARE INCH
DBL	DOUBLE	PT	PRESSURE TREATED
DC	DIRECT CURRENT	PWR	POWER CABINET
DEPT	DEPARTMENT	QTY	QUANTITY
DF	DOUGLAS FIR	RAD	RADIUS
DIA	DIAMETER	RECT	RECTIFIER
DIAG	DIAGONAL	REF	REFERENCE
DIM	DIMENSION	REINF	REINFORCEMENT
DWG	DRAWING	REQ'D	REQUIRED
DWL	DOWEL	RET	REMOTE ELECTRIC TILT
EA	EACH	RF	RADIO FREQUENCY
EC	ELECTRICAL CONDUCTOR	RMC	RIGID METALLIC CONDUIT
EL	ELEVATION	RRH	REMOTE RADIO HEAD
ELEC	ELECTRICAL	RRU	REMOTE RADIO UNIT
EMT	ELECTRICAL METALLIC TUBING	RWY	RACEWAY
ENG	ENGINEER	SCH	SCHEDULE
EQ	EQUAL	SHT	SHEET
EXP	EXPANSION	SIAD	SMART INTEGRATED ACCESS DEVICE
EXT	EXTERIOR	SIM	SIMILAR
EW	EACH WAY	SPEC	SPECIFICATION
FAB	FABRICATION	SQ	SQUARE
FF	FINISH FLOOR	SS	STAINLESS STEEL
FG	FINISH GRADE	STD	STANDARD
FIF	FACILITY INTERFACE FRAME	STL	STEEL
FIN	FINISH(ED)	TEMP	TEMPORARY
FLR	FLOOR	THK	THICKNESS
FDN	FOUNDATION	TMA	TOWER MOUNTED AMPLIFIER
FOC	FACE OF CONCRETE	TN	TOE NAIL
FOM	FACE OF MASONRY	TOA	TOP OF ANTENNA
FOS	FACE OF STUD	TOC	TOP OF CURB
FOW	FACE OF WALL	TOF	TOP OF FOUNDATION
FS	FINISH SURFACE	TOP	TOP OF PLATE (PARAPET)
FT	FOOT	TOS	TOP OF STEEL
FTG	FOOTING	TOW	TOP OF WALL
GA	GAUGE	TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSION
GEN	GENERATOR	TYP	TYPICAL
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	UG	UNDERGROUND
GLB	GLUE LAMINATED BEAM	UL	UNDERWRITERS LABORATORY
GLV	GALVANIZED	UNO	UNLESS NOTED OTHERWISE
GPS	GLOBAL POSITIONING SYSTEM	UMTS	UNIVERSAL MOBILE TELECOMMUNICATIONS SYSTEM
GND	GROUND	UPS	UNINTERRUPTIBLE POWER SYSTEM (DC POWER PLANT)
GSM	GLOBAL SYSTEM FOR MOBILE	VIF	VERIFIED IN FIELD
HDG	HOT DIPPED GALVANIZED	W	WIDE
HDR	HEADER	W/	WITH
HGR	HANGER	WD	WOOD
HVAC	HEAT/VENTILATION/AIR CONDITIONING	WP	WEATHERPROOF
HT	HEIGHT	WT	WEIGHT
IGR	INTERIOR GROUND RING		

ABBREVIATIONS



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DRAWN BY:	CHECKED BY:	APPROVED BY:
NM	JQ	MP

RFDS REV #: 1

CONSTRUCTION DOCUMENTS

SUBMITTALS		
REV	DATE	DESCRIPTION
0	05/04/2022	ISSUED FOR CONSTRUCTION

A&E PROJECT NUMBER
10710.NJER01023C

DISH Wireless L.L.C.
PROJECT INFORMATION
NJER01023C

66 MILTON ROAD
RYE, NY 10580-3850

SHEET TITLE
LEGEND AND ABBREVIATIONS

SHEET NUMBER
GN-1

SIGN TYPES		
TYPE	COLOR	COLOR CODE PURPOSE
INFORMATION	GREEN	"INFORMATIONAL SIGN" TO NOTIFY OTHERS OF SITE OWNERSHIP & CONTACT NUMBER AND POTENTIAL RF EXPOSURE.
NOTICE	BLUE	"NOTICE BEYOND THIS POINT" RF FIELDS BEYOND THIS POINT MAY EXCEED THE FCC GENERAL PUBLIC EXPOSURE LIMIT. OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b)
CAUTION	YELLOW	"CAUTION BEYOND THIS POINT" RF FIELDS BEYOND THIS POINT MAY EXCEED THE FCC GENERAL PUBLIC EXPOSURE LIMIT. OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b)
WARNING	ORANGE/RED	"WARNING BEYOND THIS POINT" RF FIELDS AT THIS SITE EXCEED FCC RULES FOR HUMAN EXPOSURE. FAILURE TO OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS COULD RESULT IN SERIOUS INJURY. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b)

SIGN PLACEMENT:

- RF SIGNAGE PLACEMENT SHALL FOLLOW THE RECOMMENDATIONS OF AN EXISTING EME REPORT, CREATED BY A THIRD PARTY PREVIOUSLY AUTHORIZED BY DISH Wireless L.L.C. L.L.C.
- INFORMATION SIGN (GREEN) SHALL BE LOCATED ON EXISTING DISH Wireless L.L.C. L.L.C EQUIPMENT.
 - A) IF THE INFORMATION SIGN IS A STICKER, IT SHALL BE PLACED ON EXISTING DISH Wireless L.L.C. L.L.C EQUIPMENT CABINET.
 - B) IF THE INFORMATION SIGN IS A METAL SIGN IT SHALL BE PLACED ON EXISTING DISH Wireless L.L.C. L.L.C H-FRAME WITH A SECURE ATTACH METHOD.
- IF EME REPORT IS NOT AVAILABLE AT THE TIME OF CREATION OF CONSTRUCTION DOCUMENTS; PLEASE CONTACT DISH Wireless L.L.C. L.L.C. CONSTRUCTION MANAGER FOR FURTHER INSTRUCTION ON HOW TO PROCEED.

NOTES:

1. FOR DISH Wireless L.L.C. L.L.C. LOGO, SEE DISH Wireless L.L.C. L.L.C. DESIGN SPECIFICATIONS (PROVIDED BY DISH Wireless L.L.C. L.L.C.)
2. SITE ID SHALL BE APPLIED TO SIGNS USING "LASER ENGRAVING" OR ANY OTHER WEATHER RESISTANT METHOD (DISH Wireless L.L.C. L.L.C. APPROVAL REQUIRED)
3. TEXT FOR SIGNAGE SHALL INDICATE CORRECT SITE NAME AND NUMBER AS PER DISH Wireless L.L.C. L.L.C. CONSTRUCTION MANAGER RECOMMENDATIONS.
4. CABINET/SHELTER MOUNTING APPLICATION REQUIRES ANOTHER PLATE APPLIED TO THE FACE OF THE CABINET WITH WATER PROOF POLYURETHANE ADHESIVE
5. ALL SIGNS WILL BE SECURED WITH EITHER STAINLESS STEEL ZIP TIES OR STAINLESS STEEL TECH SCREWS
6. ALL SIGNS TO BE 8.5"x11" AND MADE WITH 0.04" OF ALUMINUM MATERIAL

INFORMATION

This is an access point to an area with transmitting antennas.

Obey all signs and barriers beyond this point.
Call the DISH Wireless L.L.C. NOC at 1-866-624-6874

Site ID: _____

THIS SIGN IS FOR REFERENCE PURPOSES ONLY

NOTICE

Transmitting Antenna(s)

Radio frequency fields beyond this point **MAY EXCEED** the FCC Occupational exposure limit.

Obey all posted signs and site guidelines for working in radio frequency environments.

Call the DISH Wireless L.L.C. NOC at 1-866-624-6874 prior to working beyond this point.

Site ID: _____

dish

THIS SIGN IS FOR REFERENCE PURPOSES ONLY

CAUTION

Transmitting Antenna(s)

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dish

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dish

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NM	JQ	MP

RFDS REV #: 1

CONSTRUCTION DOCUMENTS

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10710.NJJERO1023C

DISH Wireless L.L.C.
PROJECT INFORMATION
NJJERO1023C

66 MILTON ROAD
RYE, NY 10580-3850

SHEET TITLE
RF SIGNAGE

SHEET NUMBER
GN-2

SITE ACTIVITY REQUIREMENTS:

- NOTICE TO PROCEED – NO WORK SHALL COMMENCE PRIOR TO CONTRACTOR RECEIVING A WRITTEN NOTICE TO PROCEED (NTP) AND THE ISSUANCE OF A PURCHASE ORDER. PRIOR TO ACCESSING/ENTERING THE SITE YOU MUST CONTACT THE DISH Wireless L.L.C. AND TOWER OWNER NOC & THE DISH Wireless L.L.C. AND TOWER OWNER CONSTRUCTION MANAGER.
- "LOOK UP" – DISH Wireless L.L.C. AND TOWER OWNER SAFETY CLIMB REQUIREMENT:
THE INTEGRITY OF THE SAFETY CLIMB AND ALL COMPONENTS OF THE CLIMBING FACILITY SHALL BE CONSIDERED DURING ALL STAGES OF DESIGN, INSTALLATION, AND INSPECTION. TOWER MODIFICATION, MOUNT REINFORCEMENTS, AND/OR EQUIPMENT INSTALLATIONS SHALL NOT COMPROMISE THE INTEGRITY OR FUNCTIONAL USE OF THE SAFETY CLIMB OR ANY COMPONENTS OF THE CLIMBING FACILITY ON THE STRUCTURE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: PINCHING OF THE WIRE ROPE, BENDING OF THE WIRE ROPE FROM ITS SUPPORTS, DIRECT CONTACT OR CLOSE PROXIMITY TO THE WIRE ROPE WHICH MAY CAUSE FRICTIONAL WEAR, IMPACT TO THE ANCHORAGE POINTS IN ANY WAY, OR TO IMPEDE/BLOCK ITS INTENDED USE. ANY COMPROMISED SAFETY CLIMB, INCLUDING EXISTING CONDITIONS MUST BE TAGGED OUT AND REPORTED TO YOUR DISH Wireless L.L.C. AND DISH Wireless L.L.C. AND TOWER OWNER POC OR CALL THE NOC TO GENERATE A SAFETY CLIMB MAINTENANCE AND CONTRACTOR NOTICE TICKET.
- PRIOR TO THE START OF CONSTRUCTION, ALL REQUIRED JURISDICTIONAL PERMITS SHALL BE OBTAINED. THIS INCLUDES, BUT IS NOT LIMITED TO, BUILDING, ELECTRICAL, MECHANICAL, FIRE, FLOOD ZONE, ENVIRONMENTAL, AND ZONING. AFTER ONSITE ACTIVITIES AND CONSTRUCTION ARE COMPLETED, ALL REQUIRED PERMITS SHALL BE SATISFIED AND CLOSED OUT ACCORDING TO LOCAL JURISDICTIONAL REQUIREMENTS.
- ALL CONSTRUCTION MEANS AND METHODS; INCLUDING BUT NOT LIMITED TO, ERECTION PLANS, RIGGING PLANS, CLIMBING PLANS, AND RESCUE PLANS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR RESPONSIBLE FOR THE EXECUTION OF THE WORK CONTAINED HEREIN, AND SHALL MEET ANSI/ASSE A10.48 (LATEST EDITION); FEDERAL, STATE, AND LOCAL REGULATIONS; AND ANY APPLICABLE INDUSTRY CONSENSUS STANDARDS RELATED TO THE CONSTRUCTION ACTIVITIES BEING PERFORMED. ALL RIGGING PLANS SHALL ADHERE TO ANSI/ASSE A10.48 (LATEST EDITION) AND DISH Wireless L.L.C. AND TOWER OWNER STANDARDS, INCLUDING THE REQUIRED INVOLVEMENT OF A QUALIFIED ENGINEER FOR CLASS IV CONSTRUCTION, TO CERTIFY THE SUPPORTING STRUCTURE(S) IN ACCORDANCE WITH ANSI/TIA-322 (LATEST EDITION).
- ALL SITE WORK TO COMPLY WITH DISH Wireless L.L.C. AND TOWER OWNER INSTALLATION STANDARDS FOR CONSTRUCTION ACTIVITIES ON DISH Wireless L.L.C. AND TOWER OWNER TOWER SITE AND LATEST VERSION OF ANSI/TIA-1019-A-2012 "STANDARD FOR INSTALLATION, ALTERATION, AND MAINTENANCE OF ANTENNA SUPPORTING STRUCTURES AND ANTENNAS."
- IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY DISH Wireless L.L.C. AND TOWER OWNER PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES INCLUDING PRIVATE LOCATES SERVICES PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING AND EXCAVATION E) CONSTRUCTION SAFETY PROCEDURES.
- ALL SITE WORK SHALL BE AS INDICATED ON THE STAMPED CONSTRUCTION DRAWINGS AND DISH PROJECT SPECIFICATIONS, LATEST APPROVED REVISION.
- CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH AT THE COMPLETION OF THE WORK. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF DISH Wireless L.L.C. AND TOWER OWNER, AND/OR LOCAL UTILITIES.
- THE CONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE REQUIRED BY LOCAL JURISDICTION AND SIGNAGE REQUIRED ON INDIVIDUAL PIECES OF EQUIPMENT, ROOMS, AND SHELTERS.
- THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE CARRIER'S EQUIPMENT AND TOWER AREAS.
- THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
- THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED ON THE CONSTRUCTION DRAWINGS AND/OR PROJECT SPECIFICATIONS.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
- THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
- CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS AND RADIOS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
- CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.
- NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.

GENERAL NOTES:

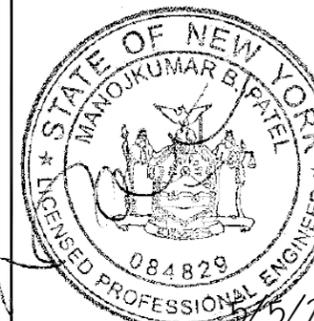
- FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR:GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION
CARRIER:DISH Wireless L.L.C.
TOWER OWNER:TOWER OWNER
- THESE DRAWINGS HAVE BEEN PREPARED USING STANDARDS OF PROFESSIONAL CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE ENGINEERS IN THIS OR SIMILAR LOCALITIES. IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKPEOPLE WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND OF INDUSTRY ACCEPTED STANDARD GOOD PRACTICE. AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.
- THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY FOR PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, FORMWORK, SHORING, ETC. SITE VISITS BY THE ENGINEER OR HIS REPRESENTATIVE WILL NOT INCLUDE INSPECTION OF THESE ITEMS AND IS FOR STRUCTURAL OBSERVATION OF THE FINISHED STRUCTURE ONLY.
- NOTES AND DETAILS IN THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT, AND/OR AS PROVIDED FOR IN THE CONTRACT DOCUMENTS. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, AND SPECIFICATIONS, THE GREATER, MORE STRICT REQUIREMENTS, SHALL GOVERN. IF FURTHER CLARIFICATION IS REQUIRED CONTACT THE ENGINEER OF RECORD.
- SUBSTANTIAL EFFORT HAS BEEN MADE TO PROVIDE ACCURATE DIMENSIONS AND MEASUREMENTS ON THE DRAWINGS TO ASSIST IN THE FABRICATION AND/OR PLACEMENT OF CONSTRUCTION ELEMENTS BUT IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE DIMENSIONS, MEASUREMENTS, AND/OR CLEARANCES SHOWN IN THE CONSTRUCTION DRAWINGS PRIOR TO FABRICATION OR CUTTING OF ANY NEW OR EXISTING CONSTRUCTION ELEMENTS. IF IT IS DETERMINED THAT THERE ARE DISCREPANCIES AND/OR CONFLICTS WITH THE CONSTRUCTION DRAWINGS THE ENGINEER OF RECORD IS TO BE NOTIFIED AS SOON AS POSSIBLE.
- PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CARRIER POC AND TOWER OWNER.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CARRIER AND TOWER OWNER PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
- CONTRACTOR IS TO PERFORM A SITE INVESTIGATION, BEFORE SUBMITTING BIDS, TO DETERMINE THE BEST ROUTING OF ALL CONDUITS FOR POWER, AND TELCO AND FOR GROUNDING CABLES AS SHOWN IN THE POWER, TELCO, AND GROUNDING PLAN DRAWINGS.
- THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF DISH Wireless L.L.C. AND TOWER OWNER
- CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
- CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.



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DISH Wireless L.L.C.
PROJECT INFORMATION
NJER01023C

66 MILTON ROAD
RYE, NY 10580-3850

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-3

CONCRETE, FOUNDATIONS, AND REINFORCING STEEL:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. UNLESS NOTED OTHERWISE, SOIL BEARING PRESSURE USED FOR DESIGN OF SLABS AND FOUNDATIONS IS ASSUMED TO BE 1000 psf.
3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 3000 psi AT 28 DAYS, UNLESS NOTED OTHERWISE. NO MORE THAN 90 MINUTES SHALL ELAPSE FROM BATCH TIME TO TIME OF PLACEMENT UNLESS APPROVED BY THE ENGINEER OF RECORD. TEMPERATURE OF CONCRETE SHALL NOT EXCEED 90°f AT TIME OF PLACEMENT.
4. CONCRETE EXPOSED TO FREEZE-THAW CYCLES SHALL CONTAIN AIR ENTRAINING ADMIXTURES. AMOUNT OF AIR ENTRAINMENT TO BE BASED ON SIZE OF AGGREGATE AND F3 CLASS EXPOSURE (VERY SEVERE). CEMENT USED TO BE TYPE II PORTLAND CEMENT WITH A MAXIMUM WATER-TO-CEMENT RATIO (W/C) OF 0.45.
5. ALL STEEL REINFORCING SHALL CONFORM TO ASTM A615. ALL WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185. ALL SPLICES SHALL BE CLASS "B" TENSION SPLICES, UNLESS NOTED OTHERWISE. ALL HOOKS SHALL BE STANDARD 90 DEGREE HOOKS, UNLESS NOTED OTHERWISE. YIELD STRENGTH (Fy) OF STANDARD DEFORMED BARS ARE AS FOLLOWS:
 - #4 BARS AND SMALLER 40 ksi
 - #5 BARS AND LARGER 60 ksi
6. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
 - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
 - #6 BARS AND LARGER 2"
 - #5 BARS AND SMALLER 1-1/2"
 - CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
 - SLAB AND WALLS 3/4"
 - BEAMS AND COLUMNS 1-1/2"
7. A TOOLED EDGE OR A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNLESS NOTED OTHERWISE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.

ELECTRICAL INSTALLATION NOTES:

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES/ORDINANCES.
2. CONDUIT ROUTINGS ARE SCHEMATIC. CONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED AND TRIP HAZARDS ARE ELIMINATED.
3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC.
4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC.
 - 4.1. ALL EQUIPMENT SHALL BEAR THE UNDERWRITERS LABORATORIES LABEL OF APPROVAL, AND SHALL CONFORM TO REQUIREMENT OF THE NATIONAL ELECTRICAL CODE.
 - 4.2. ALL OVERCURRENT DEVICES SHALL HAVE AN INTERRUPTING CURRENT RATING THAT SHALL BE GREATER THAN THE SHORT CIRCUIT CURRENT TO WHICH THEY ARE SUBJECTED, 22,000 AIC MINIMUM. VERIFY AVAILABLE SHORT CIRCUIT CURRENT DOES NOT EXCEED THE RATING OF ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ARTICLE 110.24 NEC OR THE MOST CURRENT ADOPTED CODE PRE THE GOVERNING JURISDICTION.
5. EACH END OF EVERY POWER PHASE CONDUCTOR, GROUNDING CONDUCTOR, AND TELCO CONDUCTOR OR CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2" PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC AND OSHA.
6. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH LAMICOID TAGS SHOWING THEIR RATED VOLTAGE, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING AND BRANCH CIRCUIT ID NUMBERS (i.e. PANEL BOARD AND CIRCUIT ID'S).
7. PANEL BOARDS (ID NUMBERS) SHALL BE CLEARLY LABELED WITH PLASTIC LABELS.
8. TIE WRAPS ARE NOT ALLOWED.
9. ALL POWER AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE COPPER CONDUCTOR (#14 OR LARGER) WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
10. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE COPPER CONDUCTOR (#6 OR LARGER) WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
11. POWER AND CONTROL WIRING IN FLEXIBLE CORD SHALL BE MULTI-CONDUCTOR, TYPE SOOW CORD (#14 OR LARGER) UNLESS OTHERWISE SPECIFIED.
12. POWER AND CONTROL WIRING FOR USE IN CABLE TRAY SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 OR LARGER), WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
13. ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRE NUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRE NUTS SHALL BE RATED FOR OPERATION NOT LESS THAN 75° C (90° C IF AVAILABLE).
14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND NEC.
15. ELECTRICAL METALLIC TUBING (EMT), INTERMEDIATE METAL CONDUIT (IMC), OR RIGID METAL CONDUIT (RMC) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.

16. ELECTRICAL METALLIC TUBING (EMT) OR METAL-CLAD CABLE (MC) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
17. SCHEDULE 40 PVC UNDERGROUND ON STRAIGHTS AND SCHEDULE 80 PVC FOR ALL ELBOWS/90s AND ALL APPROVED ABOVE GRADE PVC CONDUIT.
18. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
19. CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SET SCREW FITTINGS ARE NOT ACCEPTABLE.
20. CABINETS, BOXES AND WIRE WAYS SHALL BE LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND THE NEC.
21. WIREWAYS SHALL BE METAL WITH AN ENAMEL FINISH AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARDS (WIREMOLD SPECMATE WIREWAY).
22. SLOTTED WIRING DUCT SHALL BE PVC AND INCLUDE COVER (PANDUIT TYPE E OR EQUAL).
23. CONDUITS SHALL BE FASTENED SECURELY IN PLACE WITH APPROVED NON-PERFORATED STRAPS AND HANGERS. EXPLOSIVE DEVICES (i.e. POWDER-ACTUATED) FOR ATTACHING HANGERS TO STRUCTURE WILL NOT BE PERMITTED. CLOSELY FOLLOW THE LINES OF THE STRUCTURE, MAINTAIN CLOSE PROXIMITY TO THE STRUCTURE AND KEEP CONDUITS IN TIGHT ENVELOPES. CHANGES IN DIRECTION TO ROUTE AROUND OBSTACLES SHALL BE MADE WITH CONDUIT OUTLET BODIES. CONDUIT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. PARALLEL AND PERPENDICULAR TO STRUCTURE WALL AND CEILING LINES. ALL CONDUIT SHALL BE FISHED TO CLEAR OBSTRUCTIONS. ENDS OF CONDUITS SHALL BE TEMPORARILY CAPPED FLUSH TO FINISH GRADE TO PREVENT CONCRETE, PLASTER OR DIRT FROM ENTERING. CONDUITS SHALL BE RIGIDLY CLAMPED TO BOXES BY GALVANIZED MALLEABLE IRON BUSHING ON INSIDE AND GALVANIZED MALLEABLE IRON LOCKNUT ON OUTSIDE AND INSIDE.
24. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL. SHALL MEET OR EXCEED UL 50 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND NEMA 3 (OR BETTER) FOR EXTERIOR LOCATIONS.
25. METAL RECEPTACLE, SWITCH AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
26. NONMETALLIC RECEPTACLE, SWITCH AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2 (NEWEST REVISION) AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
27. THE CONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CARRIER AND/OR DISH Wireless L.L.C. AND TOWER OWNER BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
28. THE CONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD LIFE AND PROPERTY.
29. INSTALL LAMICOID LABEL ON THE METER CENTER TO SHOW "DISH Wireless L.L.C.".
30. ALL EMPTY/SPARE CONDUITS THAT ARE INSTALLED ARE TO HAVE A METERED MULE TAPE PULL CORD INSTALLED.



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DRAWN BY:	CHECKED BY:	APPROVED BY:
NM	JQ	MP

RFDS REV #: 1

CONSTRUCTION DOCUMENTS

SUBMITTALS		
REV	DATE	DESCRIPTION
0	05/04/2022	ISSUED FOR CONSTRUCTION

A&E PROJECT NUMBER
10710.NJJER01023C

DISH Wireless L.L.C.
PROJECT INFORMATION
NJJER01023C

66 MILTON ROAD
RYE, NY 10580-3850

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-4

GROUNDING NOTES:

1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION AND AC POWER GES'S) SHALL BE BONDED TOGETHER AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
2. THE CONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS, THE CONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT AND PROVIDE TESTING RESULTS.
4. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
5. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
6. EACH CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, #6 STRANDED COPPER OR LARGER FOR INDOOR BTS; #2 BARE SOLID TINNED COPPER FOR OUTDOOR BTS.
7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED BACK TO BACK CONNECTIONS ON OPPOSITE SIDE OF THE GROUND BUS ARE PERMITTED.
8. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING SHALL BE #2 SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
9. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
11. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
12. ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR AND EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS.
13. COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
14. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
15. APPROVED ANTIOXIDANT COATINGS (i.e. CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
16. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
17. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
18. BOND ALL METALLIC OBJECTS WITHIN 6 ft OF MAIN GROUND RING WITH (1) #2 BARE SOLID TINNED COPPER GROUND CONDUCTOR.
19. GROUND CONDUCTORS USED FOR THE FACILITY GROUNDING AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (i.e., NONMETALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
20. ALL GROUNDS THAT TRANSITION FROM BELOW GRADE TO ABOVE GRADE MUST BE #2 BARE SOLID TINNED COPPER IN 3/4" NON-METALLIC, FLEXIBLE CONDUIT FROM 24" BELOW GRADE TO WITHIN 3" TO 6" OF CAD-WELD TERMINATION POINT. THE EXPOSED END OF THE CONDUIT MUST BE SEALED WITH SILICONE CAULK. (ADD TRANSITIONING GROUND STANDARD DETAIL AS WELL).
21. BUILDINGS WHERE THE MAIN GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE, THE CONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS FROM THE ROOFTOP, TOWERS, AND WATER TOWERS GROUNDING RING, TO THE EXISTING GROUNDING SYSTEM, THE GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN 2/0 COPPER. ROOFTOP GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM, THE BUILDING STEEL COLUMNS, LIGHTNING PROTECTION SYSTEM, AND BUILDING MAIN WATER LINE (FERROUS OR NONFERROUS METAL PIPING ONLY). DO NOT ATTACH GROUNDING TO FIRE SPRINKLER SYSTEM PIPES.

MASONRY NOTES:

1. DESIGN AND CONSTRUCTION OF ALL MASONRY WORK SHALL CONFORM TO ACI 530 AND 530.1 STANDARDS "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES", AND "SPECIFICATIONS FOR MASONRY STRUCTURES".
2. CONCRETE MASONRY UNITS SHALL BE NORMAL WEIGHT HOLLOW LOAD BEARING UNITS CONFORMING TO ASTM C90 "LOADBEARING CONCRETE MASONRY UNITS", TYPE I (MOISTURE-CONTROLLED), GRADE N. COMPRESSIVE STRENGTH OF MASONRY (F'M) SHALL NOT BE LESS THAN 2,000 PSI. COLOR AND FINISH AS INDICATED, SUBJECT TO APPROVAL BY OWNER.
3. MORTAR SHALL CONFORM TO ACTM C270 "MORTAR FOR UNIT MASONRY" TYPE M OR S.
4. GROUT SHALL CONFORM TO ASTM C476 "GROUT FOR REINFORCED AND NON-REINFORCED MASONRY". ALL CELLS SHALL BE FILLED SOLID WITH GROUT AT REINFORCING.
5. ALL MASONRY SHALL BE CONSTRUCTED IN RUNNING BOND.
6. HORIZONTAL JOINT REINFORCING SHALL BE STANDARD WEIGHT LADDER TYPE (2-NO. 9 GAGE SIDE RODS) SPACED VERTICALLY AS INDICATED.
7. INJECT GROUT INTO WEAK MORTAR WHERE THERE IS SEPARATION BETWEEN JOINTS.

MASONRY REPAIR NOTES:

1. REPAIR ALL EXISTING BULKHEAD/PARAPET WALL CRACKS WITHIN 3 FEET RADIUS OF THE MOUNT ATTACHMENT POINTS.
2. CONTRACTOR IS RESPONSIBLE TO REPAIR ANY BRICK FRACTURE OR MORTAR CRACKS THAT MAY DEVELOP DURING CONSTRUCTION OF ANTENNA MOUNTS AND EQUIPMENT FRAME.
3. DO NOT HAMMER DRILL INTO EXISTING BULKHEAD/PARAPET.
4. CONTRACTOR TO REMOVE TAR/MASTIC ON THE EXISTING BULKHEAD/PARAPET AT EVERY MOUNT ATTACHMENT AND REPOINT MASONRY AS REQUIRED. A BEAD OF SILICONE SHALL BE APPLIED BEHIND AND ALL AROUND THE MOUNT ATTACHMENT TO MAKE IT WEATHERPROOF.
5. REPAIR WORK FOR BULKHEAD/PARAPET TO BE PREFORMED/COMPLETED IN TWO STAGES, AS FOLLOWS:

STAGE 1: OUTSIDE FACE

- REPAIR WORK TO BE DONE IN SECTIONS NOT TO EXCEED 4 FEET IN BULKHEAD/PARAPET LENGTH.
- RE-POINT ALL AREAS AND REPLACE ALL CRACKED/DAMAGED BRICK AS REQUIRED.
- REPLACE PARGING TO MATCH EXISTING BUILDING AND PAINT TO MATCH.
- RESEAL ALL ANCHOR HOLES WEATHER-TIGHT.

STAGE 2: INSIDE FACE/BELOW ROOF LINE

- REPAIR WORK TO BE DONE IN SECTIONS NOT TO EXCEED 4 FEET IN BULKHEAD/PARAPET LENGTH.
- REMOVE LOOSE BULKHEAD/PARAPET MEMBRANE A MAXIMUM OF 3 FEET FROM EDGE OF ATTACHMENT.
- RE-POINT ENTIRE AREA AS REQUIRED.
- RESEAL AND REPLACE BULKHEAD/PARAPET MEMBRANE AND FLASHING TO MATCH EXISTING.

HILTI TESTING NOTES:

IF REQUIRED PER HILTI SPECIFICATIONS. CONTRACTOR SHALL RETAIN HILTI TO TEST AND CERTIFY THE ADHESIVE ANCHORS SPECIFIED IN THE CONSTRUCTION DRAWINGS TO BE INSTALLED IN MASONRY. A MINIMUM OF ONE (1) ANCHOR PER CONNECTION SHALL BE TESTED. FOR ANTENNA MOUNTS, A MINIMUM OF 25% OF ANCHORS PER SECTOR SHALL BE TESTED. THE LOAD TO THE ANCHORS SHALL BE APPLIED USING A STEEL TEST FRAME THAT IS ADEQUATE TO CARRY THE PULL TEST LOADS. APPLY A TENSILE LOAD SPECIFIED AND RECOMMENDED BY THE ANCHOR MANUFACTURER ONTO THE ANCHOR TO BE TESTED. MAINTAIN THE LOAD FOR AT LEAST TWO MINUTES AFTER SPECIFIED LOAD IS REACHED. IF ANY TESTED ANCHOR IN A CONNECTION FAILS TO REACH THE SPECIFIED LOAD CAPACITY, ALL ANCHORS WITHIN THAT CONNECTION SHALL BE TESTED. ENGINEER OF RECORD OR A SPECIAL INSPECTOR SHALL BE PRESENT ON SITE DURING THE ANCHOR TESTS. TEST RESULTS SHALL BE DOCUMENTED BY HILTI AND FURNISHED TO ENGINEER OF RECORD UPON COMPLETION. ANCHORS WILL BE VISUALLY INSPECTED ALONG WITH THE SURROUNDINGS AFTER TESTING.



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CONSTRUCTION DOCUMENTS

SUBMITTALS		
REV	DATE	DESCRIPTION
0	05/04/2022	ISSUED FOR CONSTRUCTION

A&E PROJECT NUMBER
10710.NJJER01023C

DISH Wireless L.L.C.
PROJECT INFORMATION
NJJER01023C
66 MILTON ROAD
RYE, NY 10580-3850

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-5

Date: December 21, 2021

Structural Analysis Report

Project Information:

Carrier: Dish Wireless
Site Number: NJJER01023C
Site Address: 66 Milton Road, Rye, NY 10580
Site Type: Rooftop Mounted Antennas

Tectonic Project Number: 10710.NJJER01023C
Dish Wireless Site ID: NJJER01023C

Tectonic Engineering Consultants, Geologists & Land Surveyors, D.P.C. is pleased to submit this "Structural Analysis Report" to determine the structural integrity of the above-mentioned rooftop antenna mount site.

The purpose of this analysis is to design and determine the acceptability of the proposed antenna mounts. Based on our analysis we have determined the stress level at each sector to be as follows:

All Sectors:	Sufficient
Equipment Platform:	Sufficient w/ Modification

This analysis has been performed in accordance with the IBC 2018 and the 2020 New York State Building Code based upon an ultimate 3-second gust wind of 116 mph as required for use in the ANSI/TIA-222-H-1-2019 Standard. Exposure Category B with a maximum topographic factor, Kzt, of 1.0 and Risk Category II were used in this analysis.

We appreciate the opportunity of providing our continuing professional services to you. If you have any questions or need further assistance on this or any other projects, please give us a call.

Structural analysis prepared by/reviewed by: Robert Keddrell / Edward N. Iamiceli, P.E.

Respectfully submitted by:
Tectonic Engineering Consultants, Geologists & Land Surveyors, D.P.C.,



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1) INTRODUCTION/PURPOSE

Analysis of the proposed antenna mounts due to the loading of the proposed antennas, equipment, and related appurtenances on the rooftop of the existing building structure.

2) ANALYSIS CRITERIA

TIA-222 Revision: TIA-222-H
 Risk Category: II
 Wind Speed: 116 mph
 Exposure Category: B
 Topographic Factor: 1.0
 Ice Thickness: 0.75 in
 Wind Speed with Ice: 50 mph
 Service Wind Speed: 60 mph

Table 1 - Proposed Antenna Mount Loading

Mounting Level (ft)	Carrier Designation	Quantity	Antenna Manufacturer	Antenna Model	Proposed Mount Type	Note
92.75	Dish Wireless	1	JMA	MX08FRO465-20	Pipe Mount	1,2
		1	Fujitsu	TA08025-B605		
		1	Fujitsu	TA08025-B604		
		1	Raycap	RDIDC-3045-PF-48		

Notes:

- 1) To be mounted on proposed mounts.
- 2) Typical layout per sector, total of 3 sectors.

Table 2 - Existing Platform Loading

Mounting Level (ft)	Carrier Designation	Quantity	Antenna Manufacturer	Antenna Model	Proposed Mount Type	Note
66.58	Dish Wireless	1	Raycap	PPC RDIAC-2465-P-240-MTS	Existing Platform	1
		1	Energysys	HVAC 2000005995		
		1	Charles	CFIT-PF2020DSH1		
		1	Square D	D224NRB		
		1	PCTEL	GPSGL-TMG-SPI-40NCB		

Note:

- 1) To be mounted on existing platform.

3) ANALYSIS PROCEDURE

Table 3 - Documents Provided

Document	Prepared By	Dated
Field Notes & Photos	Tectonic	09/15/2021
Preliminary Construction Drawings	Tectonic	10/07/2021

3.1) Analysis Method

A tool internally developed, using Microsoft Excel, was used to calculate wind loading on all appurtenances and mount members. This information was then used to calculate the pressure that would be applied to the roof structure. The selected output from the analysis is included in Appendix B.

3.2) Assumptions

- 1) The antenna mounting system was properly fabricated, installed, and maintained in good condition in accordance with its original design, TIA Standards, and/or manufacturer's specifications.
- 2) The configuration of antennas, mounts, and other appurtenances are as specified in Tables 1 and Table 2.
- 3) All member connections are assumed to have been designed to meet or exceed the load carrying capacity of the connected member unless otherwise specified in this report.
- 4) Steel grades have been assumed as follows, unless noted otherwise:

Channel, Solid Round, Angle, Plate	ASTM A36 (GR 36)
Pipe	ASTM A53 (GR 35)
Connection Bolts	ASTM A325

This analysis may be affected if any assumptions are not valid or have been made in error. Tectonic should be notified to determine the effect on the structural integrity of the mount or platform.

4) Results/Conclusions

Table 3 - Mount Stresses/Adequacy

Notes	Components	Centerline (ft)	Maximum % Capacity	Pass / Fail
1	Mount Members	92.75	2	Pass
2	Mount Connection		11	Pass
3	Platform Members	66.58	96	Pass
4	Platform Connections		73	Pass

Structure Rating (max from all components) =	96%
---	------------

Notes:

- 1) See additional documentation in Appendix C for analysis output calculations supporting the % capacity utilized.
- 2) See additional documentation in Appendix D for analysis output calculations supporting the % capacity utilized
- 3) See additional documentation in Appendix F for analysis output calculations supporting the % capacity utilized.
- 4) See additional documentation in Appendix G for analysis output calculations supporting the % capacity utilized

4.1) Results/Conclusions

The proposed mounts will have adequate capacity to support the proposed antennas and equipment installation.

The existing platform will have adequate capacity to support the proposed equipment installation once the proposed reinforcement is installed as detailed in the report below are satisfied.

Contractor shall field verify existing conditions and recommendations as noted on the construction drawings and notify the design engineer of any discrepancies prior to construction. Any further changes to the antenna and/or appurtenance configuration should be reviewed with respect to their effect on structural loads prior to implementation.

APPENDIX A – ALL SECTORS
LOADING INFORMATION

WIND AND ICE LOADS PER TIA-222-H

W.O.	10710.NJJER01023C
Project Name	NJJER01023C
Location	66 Milton Road, Rye, NY 10580
County	Westchester

Tower Type	RT	Rooftop
Structure Height	123	ft
Supporting Str Height	0	ft Or ground mounted
Risk Category	II	Moderate risk
Exposure Category	B	Suburban/wooded/obstructed
Topo Category	1	Flat or rolling terrain
Height of crest	0	ft
Mean elevation (zs)	31	ft

Basic Wind Speed (3-sec gust):		
Without ice	116	mph
With ice	50	mph
Maintenance Wind	60	mph
Ice thickness	1.00	in

Rooftop Wind Speed-up Factor		
Width of windward face (Ws)	26.00	ft
Height of windward face (Hs)	123.00	ft
Height of parapet	0.00	ft
Horz distance from edge of bldg (X)	0.00	ft
Height above roof (Zr)	23.33	ft

Importance Factor	
Ice thickness	1.00
Earthquake	1.00
Supporting Data:	
Ks	1.06
Ke	1.00
Kc	0.90
Kt	N/A
f	N/A
Zg	1200
α	7
Kz,min	0.7
Kd	0.95
Gh	1.00

Height	z (ft)	92.75
	Kh	N/A
	Kzt	1.00
	Kz	0.97
	Kiz	1.11
Wind Pressure, qz (psf)	No Ice	33.62
	With Ice	6.25
	Service	8.99
(tiz)	Ice Thk	1.11
Appurtenances (qzGh)	No Ice	33.62
	With Ice	6.25
	Service	8.99

Equipment Information

Shielding factor, Ka **1** Section 16.6

WIND WITHOUT ICE

Antenna Configuration	(E) or (P)	Qty per Sector	z (ft)	Length or Diameter (ft)	Width (in)	Depth (in)	Flat or Cylindrical?	Antenna (Ca) _N	Antenna (Ca) _T	Face Normal (A _a) _N (ft ²)	Windward Face Normal (CaA _a) _N (ft ²)	Side Face (A _a) _T (ft ²)	Wind ward Side Face (CaA _a) _T (ft ²)	Normal Antenna Wind Load Each (lb)	Transverse Antenna Wind Load Each (lb)	Antenna Weight (lb)	Total Weight (lb)
MX08FRO465-20	E	1	92.75	4.00	20.00	8.00	Flat	1.20	1.36	6.67	8.00	2.67	3.61	269	122	53.3	53.3
TA08025-B605	E	2	92.75	1.31	14.96	9.06	Flat	1.20	1.20	1.64	3.93	0.99	2.38	66	40	75.0	149.9
TA08025-B604	E	1	92.75	1.31	14.96	7.87	Flat	1.20	1.20	1.64	1.96	0.86	1.03	66	35	63.9	63.9
RDIDC-3045-PF-48	E	1	92.75	1.38	14.58	8.46	Flat	1.20	1.20	1.68	2.01	0.97	1.17	68	39	21.9	21.9
										Σ(CaA _a) _N	15.90	Σ(CaA _a) _T	8.19			289	

WIND WITH ICE

Ice Thk = 1.11 in

Antenna Configuration	(E) or (P)	Qty per Sector	z (ft)	Length or Diameter (ft)	Width (in)	Depth (in)	Flat or Cylindrical?	Antenna (Ca) _N	Antenna (Ca) _T	Face Normal (A _a) _N (ft ²)	Windward Face Normal (CaA _a) _N (ft ²)	Side Face (A _a) _T (ft ²)	Windward Side Face (CaA _a) _T (ft ²)	Normal Antenna Wind Load Each (lb)	Transverse Antenna Wind Load Each (lb)	Ice Area for Weight (ft ²)	Ice Weight Alone (lbs)
MX08FRO465-20	E	1.00	92.75	4.18	22.22	10.22	Flat	1.20	1.31	7.75	9.30	3.56	4.66	58	29	18.7	96.6
TA08025-B605	E	2.00	92.75	1.50	17.18	11.28	Flat	1.20	1.200	2.14	5.14	1.41	3.38	16	11	5.3	27.2
TA08025-B604	E	1.00	92.75	1.50	17.18	10.09	Flat	1.20	1.200	2.14	2.57	1.26	1.51	16	9	5.0	25.8
RDIDC-3045-PF-48	E	1.00	92.75	1.57	16.80	10.68	Flat	1.20	1.200	2.19	2.63	1.39	1.67	16	10	5.3	27.5
										Σ(CaA _a) _N	19.65	Σ(CaA _a) _T	11.22			177	

Mounting System Information

Mount Center Line:		92.75 ft												
										Reduction Factor =		1	Section 16.6	
Mount Part	Quantity	Length (ft)	Projected Width (in)	Depth (in)	Flat or Cylindrical?	Force Coefficient	Projected Area (ft ²)	Wind Force (lbs/ft)	Ice Weight Area (ft ²)	Ice Weight (lbs/ft)	Projected Area with Ice (ft ²)	Wind Force Ice (lbs/ft)	Maintenance Wind Force (lbs/ft)	
2.5" STD Pipe	1	1.00	2.88	2.88	Cylindrical	1.2	0.29	9.7	0.75	3.9	0.51	3.2	2.6	

Seismic Check

Tower Information

Tower Type:	RT	
Structure Height	123	ft
Supporting Structure Height	0	ft
Mount Height	92.75	ft

Geographic Information

City:	Rye	
State:	New York	
County:	Westchester	
Latitude:	40.978195	Longitude: -73.684462

Seismic Information

Risk Category	II
Importance Factor	1.00
Site Soil Classification	D
S_s	0.281
S_1	0.06
F_a	1.575
F_v	2.4
S_{Ds}	0.296
S_{D1}	0.096
R	3.00
A_s	3.00
C_s	0.10

Table 2-10
<https://asce7hazardtool.online/>
 (Table 2-11, interpolation allowed)
 (Table 2-12, interpolation allowed)
 Section 2.7.5
 Section 16.7
 Section 16.7 & 2.7.8
 > 0.03

Equivalent Lateral Force Procedure

Equipment (Discrete Appurtenances)

Antenna Configuration	(E) or (P)	Qty per Sector	z (ft)	Antenna Weight (lb)	Shear $V_s = C_s * W$ (lbs)	Vert. Seismic load (Ev, lbs)	Seismic load (Eh, lbs)
MX08FRO465-20	E	1	92.75	53	5	3	5
TA08025-B605	E	2	92.75	75	7	4	7
TA08025-B604	E	1	92.75	64	6	4	6
RDIDC-3045-PF-48	E	1	92.75	22	2	1	2

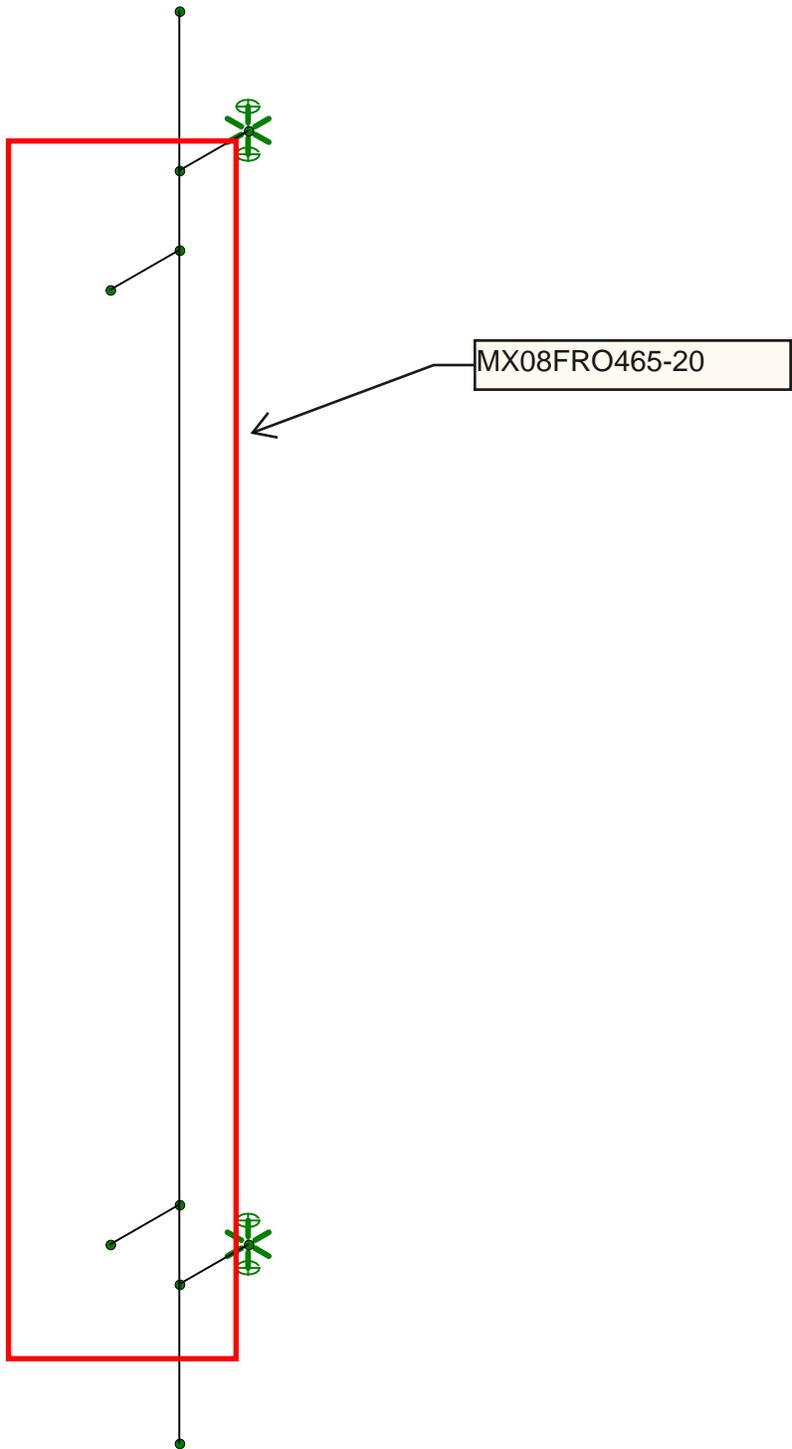
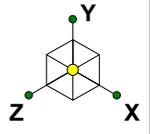
Mounting System (Discrete Appurtenances)

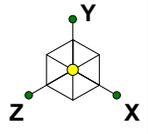
$E_v = 0.2 S_{Ds} * D$	0.0592 x D	"D" is the dead weight of the mount members.
$E_h = \rho * Q_E$	0.1 x W	"W" total weight of structure above ground

Notes:

1. Wind loads govern over Seismic loads

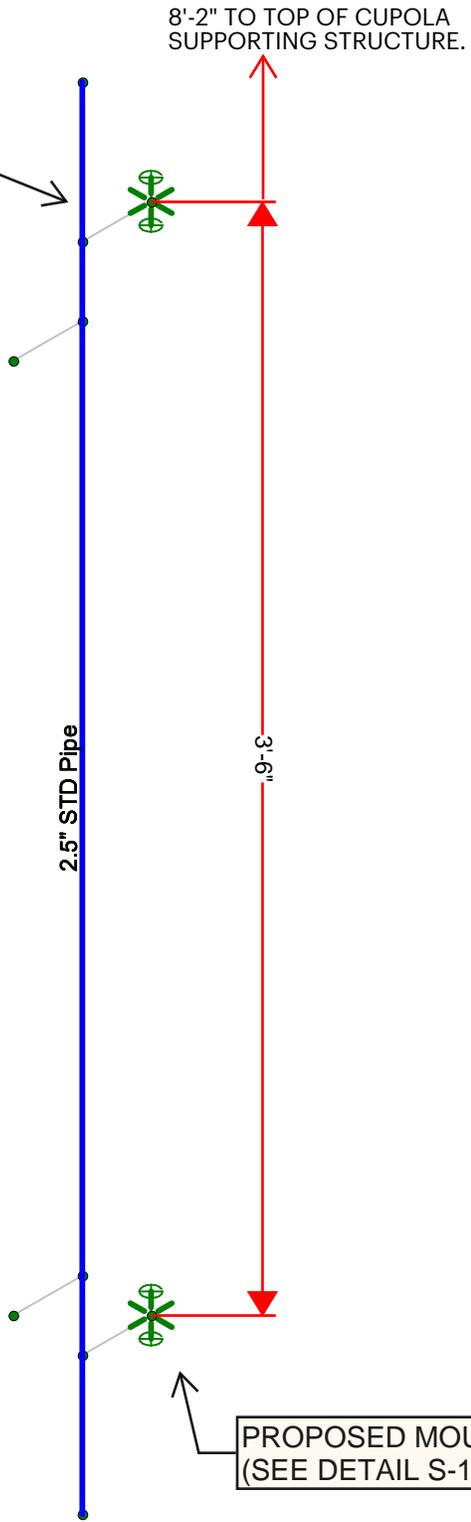
APPENDIX B- ALL SECTORS
WIRE FRAME RENDERING

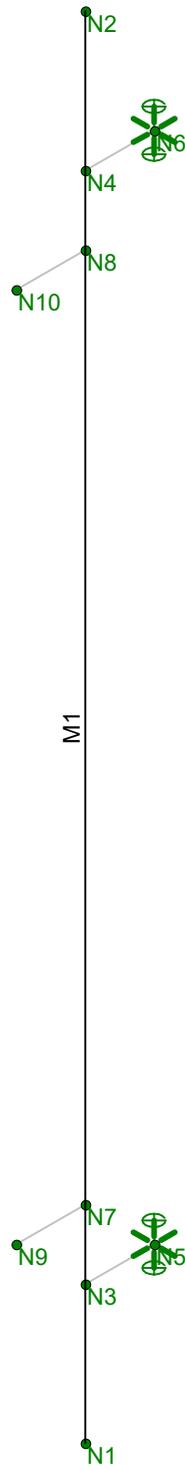
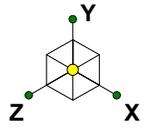


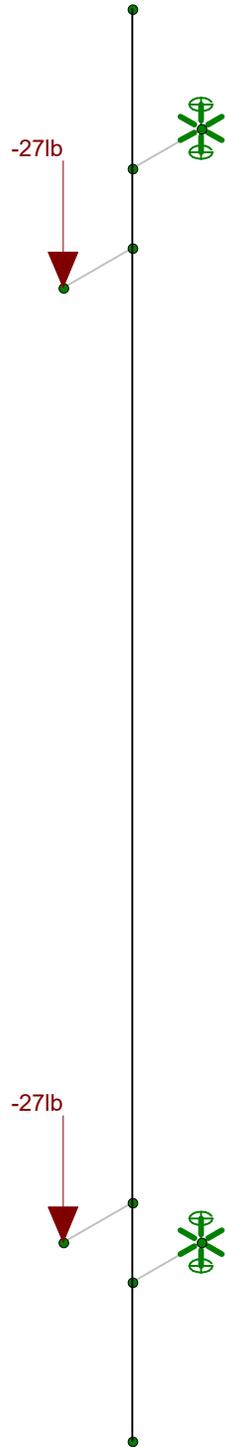
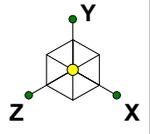


Section Sets	
	2.5" STD Pipe
	RIGID

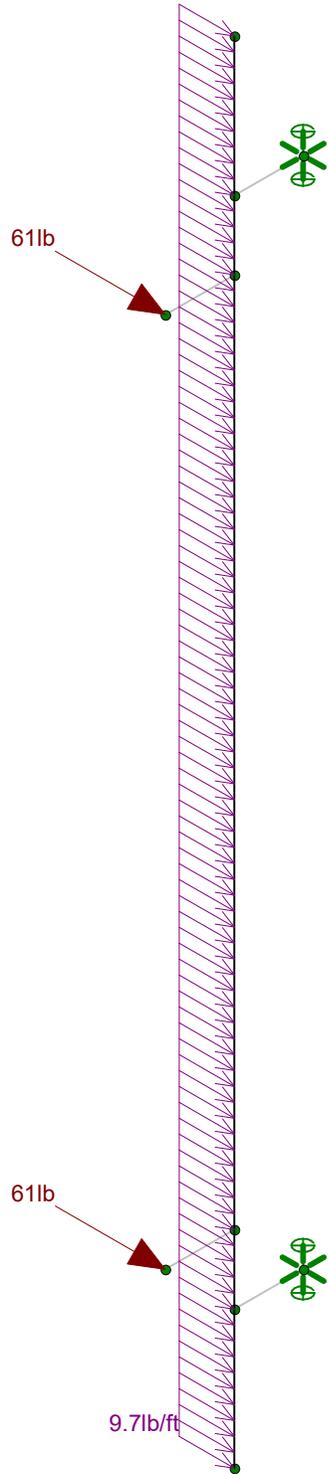
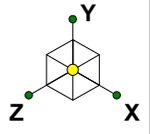
2.5" STD PIPE
(4'-6" LONG)



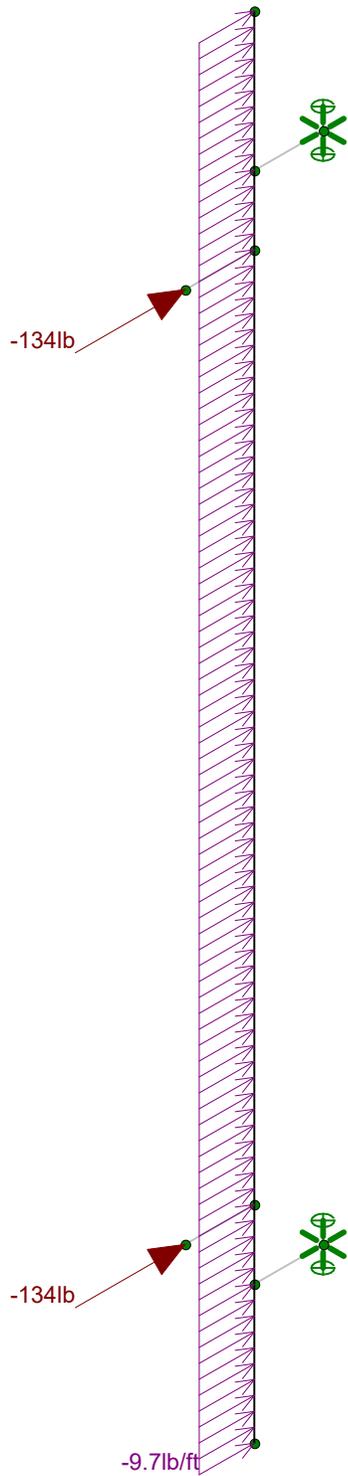
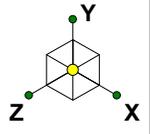




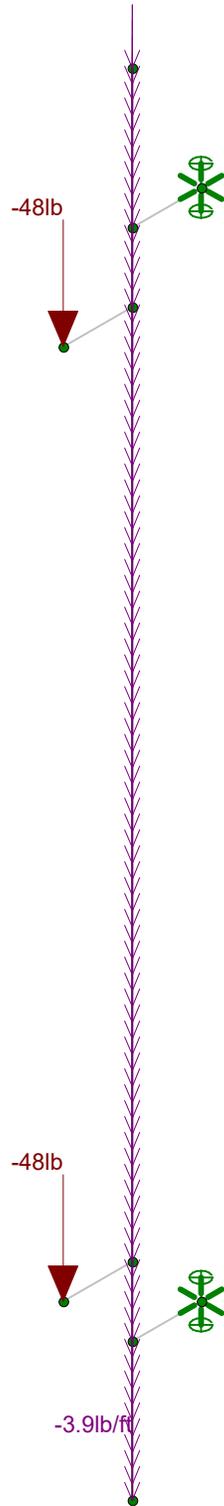
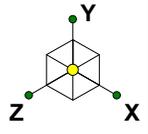
Loads: BLC 1, DL
Envelope Only Solution



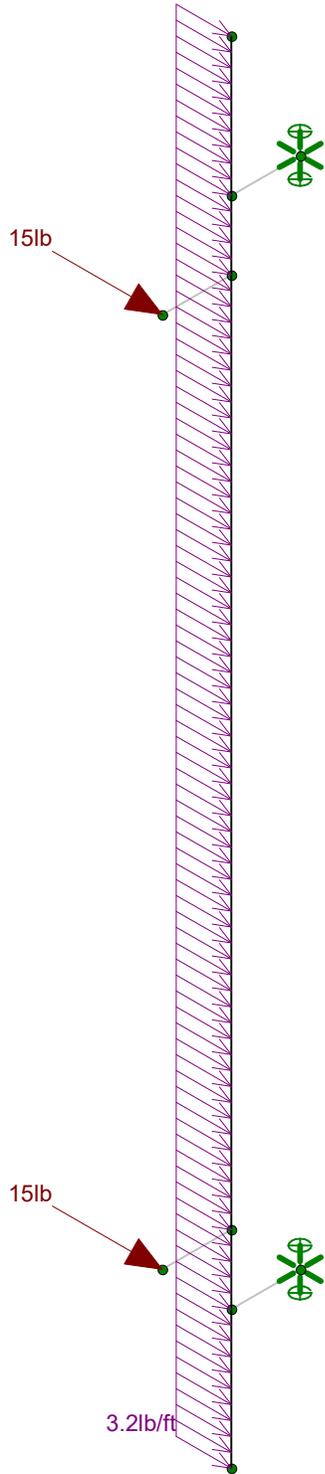
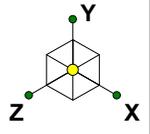
Loads: BLC 2, WLX
Envelope Only Solution



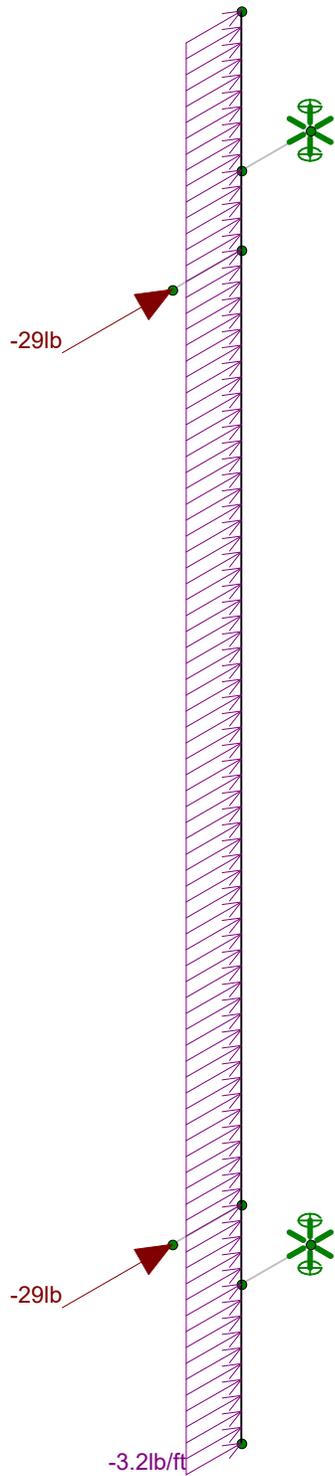
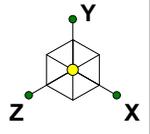
Loads: BLC 3, WLZ
Envelope Only Solution



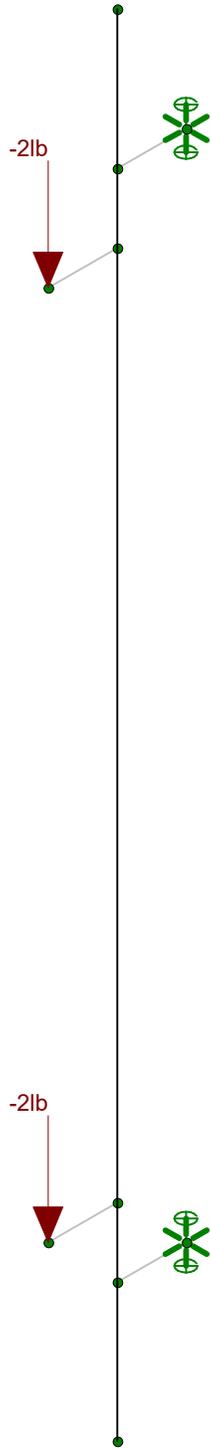
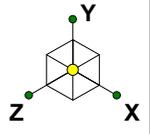
Loads: BLC 4, DLi
Envelope Only Solution



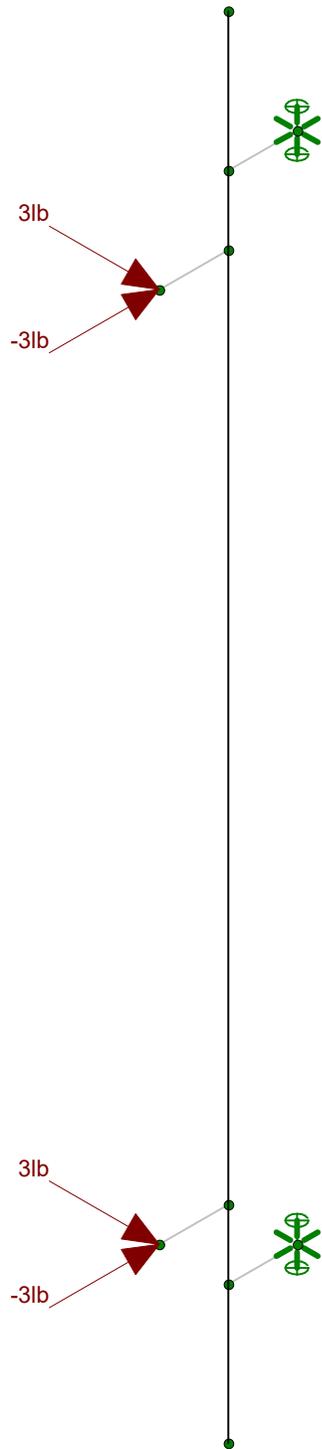
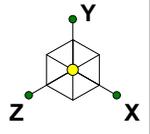
Loads: BLC 5, WLXi
Envelope Only Solution



Loads: BLC 6, WLZi
Envelope Only Solution

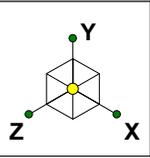


Loads: BLC 7, ELv
Envelope Only Solution

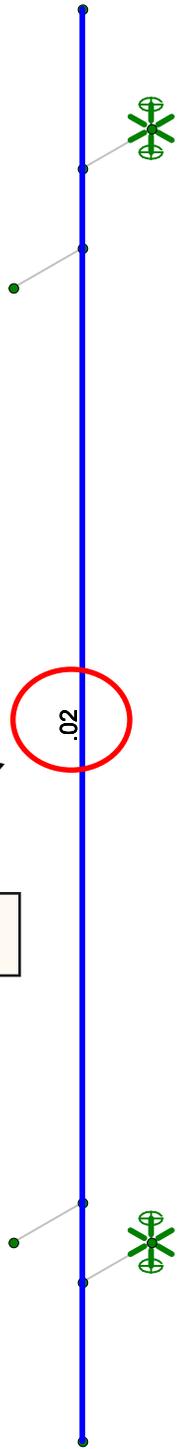


Loads: BLC 8, ELh
Envelope Only Solution

APPENDIX C- ALL SECTORS
SOFTWARE OUTPUT



Code Check (Env)	
Black	No Calc
Red	> 1.0
Magenta	.90-1.0
Green	.75-.90
Cyan	.50-.75
Blue	0.-.50



0.02 < 1.0 OK
(See RISA-3D results for further information)

APPENDIX D- ALL SECTORS
ADDITIONAL CALCULATIONS

Job No. 10710.NJJER01023C
Sheet No. 1 of 1
Calculated By RTK Date : 12/21/21
Checked By Date :



Proposed Connection Anchor Check - All Sectors

Proposed Anchors are **5/8** diameter **HY 270** with **6** inch embedment

Tallow = **1025** lbs

Vallow = **1405** lbs

Max Loads Per Risa Output: Nodes **N6** LC **ENV**

Tmax = **68.0** lbs

Vmax = **70.0** lbs

Interaction:

of Anchors = **1** (Total of 2)

Reduction due to existing conditions? **No**

$$\frac{68.0}{1025.0} + \frac{70.0}{1405.0} = \mathbf{0.12} \leq 1.0, \text{ OK}$$

Comments:

Existing Structure Check

The proposed antenna mounts are flush mounted to the façade of the existing building structure. Therefore, there will be no increase in normal load on the structure and all other additional loads will be minimal. Hence, the existing structure will have adequate capacity to support the proposed installation.

APPENDIX E – PLATFORM
LOADING INFORMATION



PRACTICAL SOLUTIONS. EXCEPTIONAL SERVICE.

Job No.	10710.NJER01023C		
Sheet No.	1	of	1
Calculated By	RTK	Date :	12/21/21
Checked By		Date :	

Analysis of Existing Equipment Platform

1 - Dead Load

Number of units	Cabinet Type	Width (in.)	Depth (in.)	Height (in.)	Weight (lbs)	Total Weight	
1	HVAC 2000005995	30	32	73	978	978	lbs
						Total	978 lbs

Point Load = **245** lbs/point (4 Points)

For existing grating = **10** psf

2- Live Load

Per ASCE 7-16: Chapter 4

Catwalks for Maintenance Access = **40** psf (Table 4.3-1)

3- Snow Load

Per ASC 7-16: Chapter 7

$$P_f = 0.7C_eC_iP_g$$

But not less than $P_f = (I)P_g$

Point Load = **50** lbs/point (4 Points)

$C_e = 1.0$ Table 7.3-1
 $C_i = 1.2$ Table 7.3-2
 $I = 1.0$ Table 1.5-2
 $P_g = 30$ psf

GOVERNS

4- Wind Load

Per ASCE 7-16 Chapters 1, 26, & 29

z=	78.92	ft
V=	116	MPH - Risk Category II
Exposure:	B	Section 26.7.3
α =	7	Table 26.91
Z_0 =	1200	ft Table 26.91
K_z =	0.924	Table 29.3-1
K_{zt} =	1.00	Section 26.8.2
K_d =	0.90	Table 26.6-1 (Square)
K_e =	1.00	Section 26.9 (Ke permitted to be 1 for all elevations)
q_z =	28.6	psf (Section 29.10.2)

Per ASCE 7-16 Section 29.4 Design Wind Loads: Other Structures

Building Info

B=	26	ft (Horizontal dimension of building normal to wind direction)
h=	69.42	ft (Mean roof height)
Bh=	1804.833	ft ²
0.1Bh=	180.4833	ft ²

Resultant Horizontal Force

A_r =	15.21	ft ²
GC_r =	1.9	Section 29.4.1 ($A_r < 0.1Bh$)
F=	54	PSF
Normal Wind Load =	207	lb/point (4 points)
Transverse Area =	16	ft ²
Transverse Wind Load =	221	lb/point (4 points)

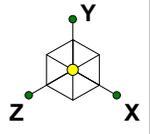
Vertical Uplift Force

Cabinet Height =	6.08	ft
Cabinet Width =	2.50	ft
Cabinet Depth=	2.67	ft
Normal Uplift Force =	472	lb/point (4 Points)
Transverse Uplift Force =	537	lb/point (4 Points)

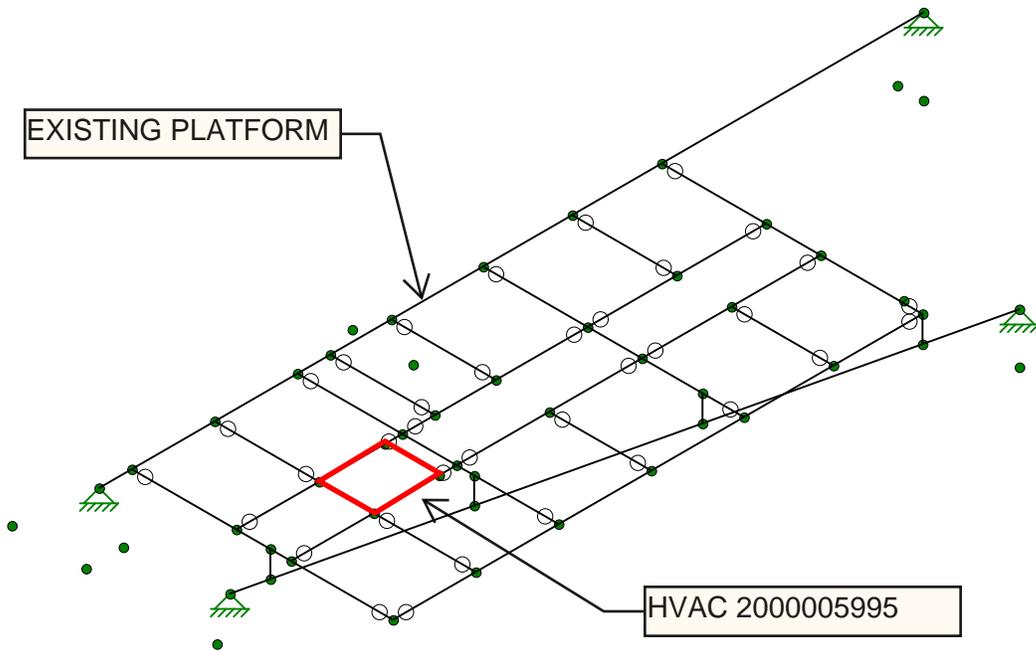
Wind Load on Steel Members

W12	54	lbs/ft
W10	45	lbs/ft
W8	36	lbs/ft

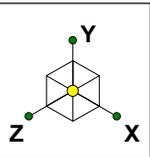
APPENDIX F- PLATFORM
WIRE FRAME RENDERING



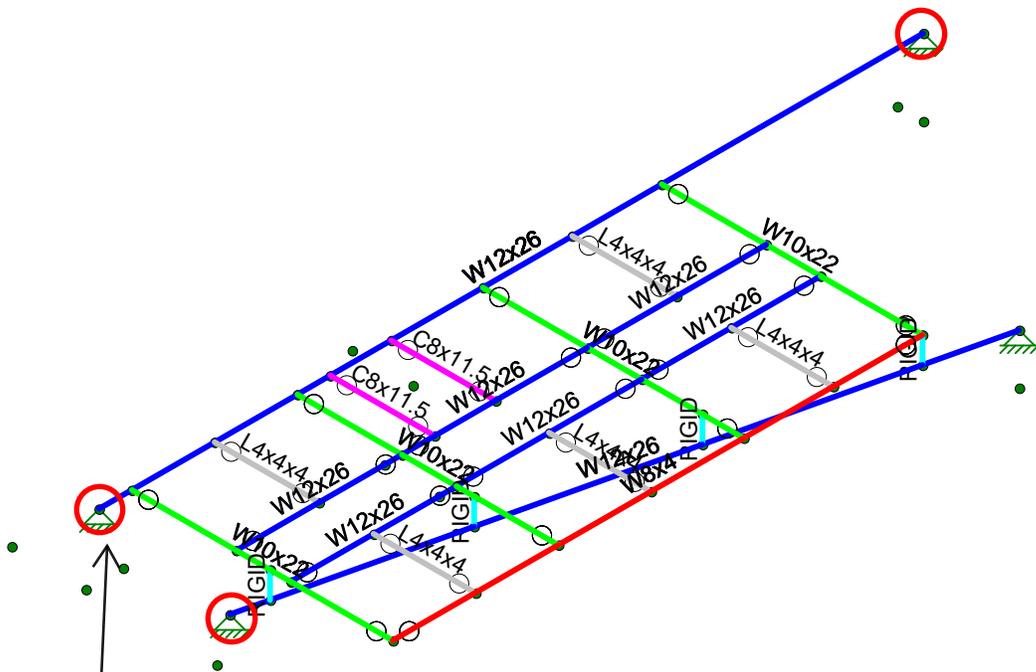
EXISTING PLATFORM



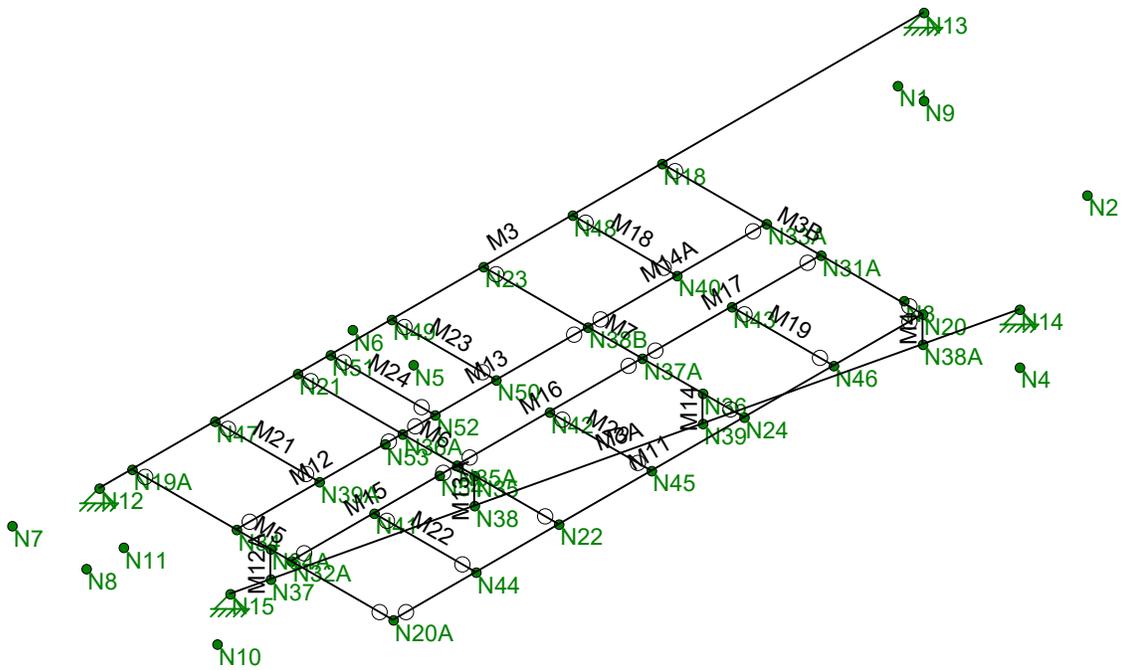
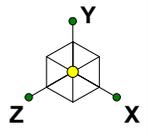
HVAC 2000005995

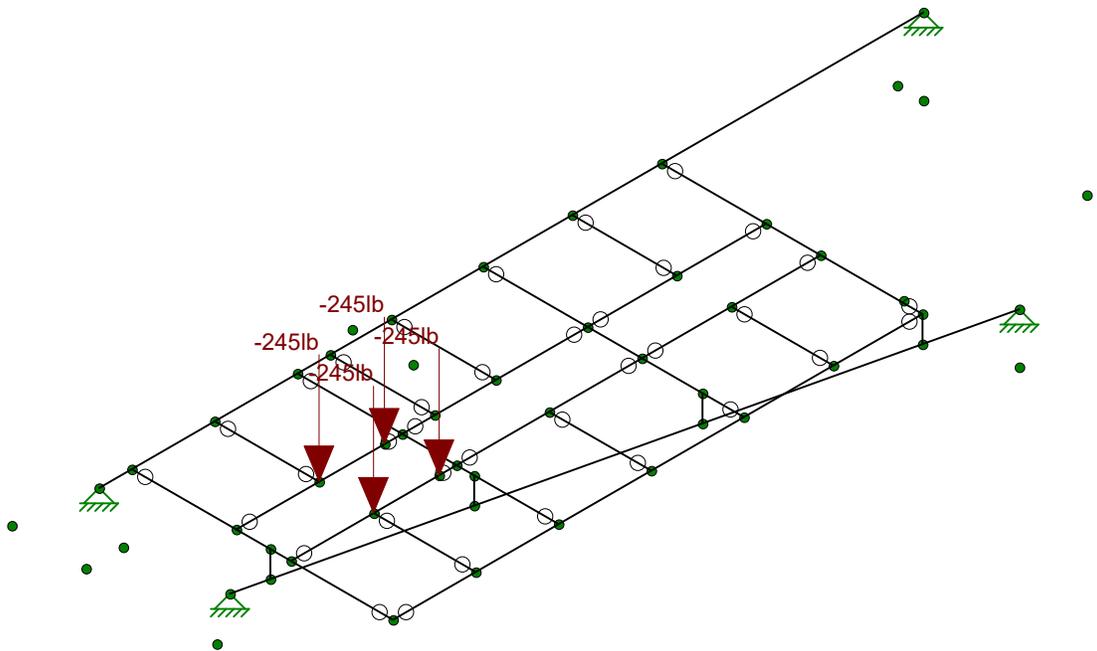
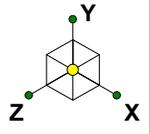


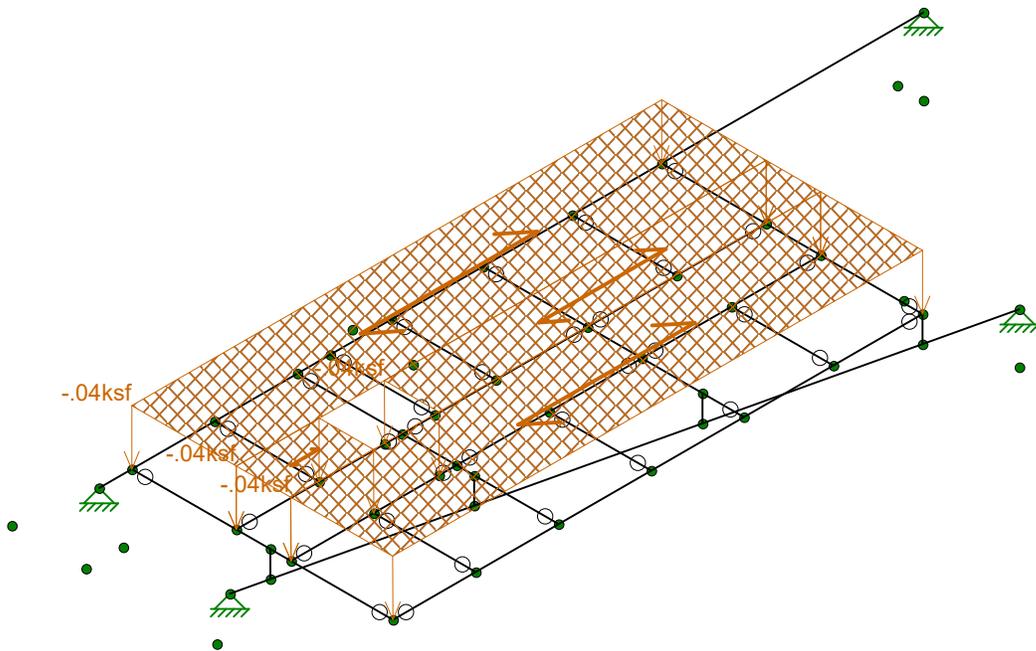
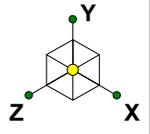
Section Sets	
■	W12x26
■	W10x22
■	W8x4
■	L4x4x4
■	C8x11.5
■	RIGID

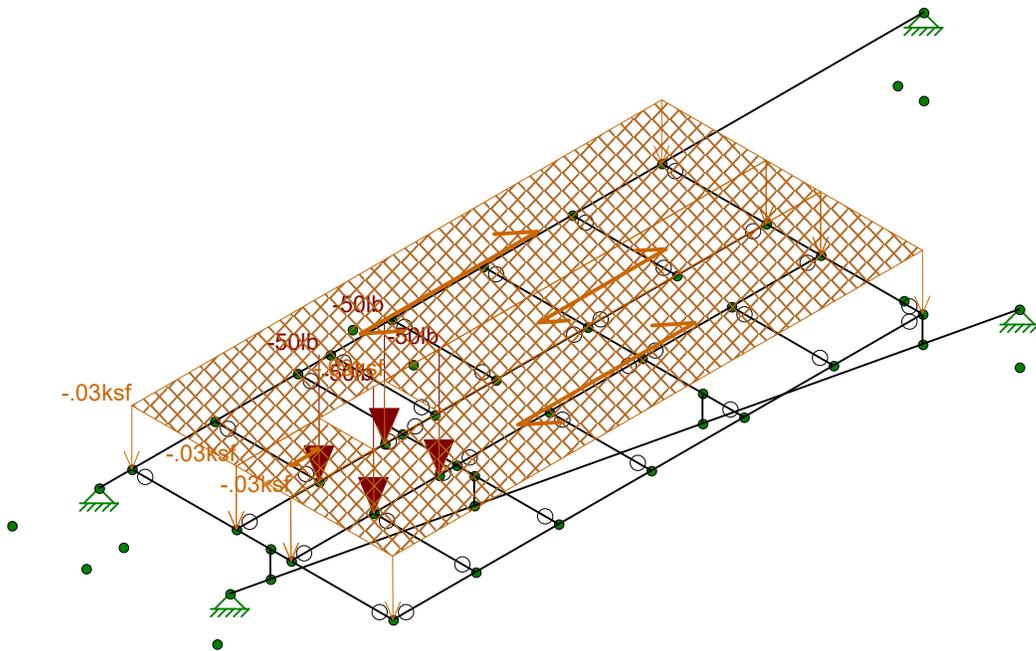
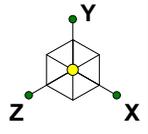


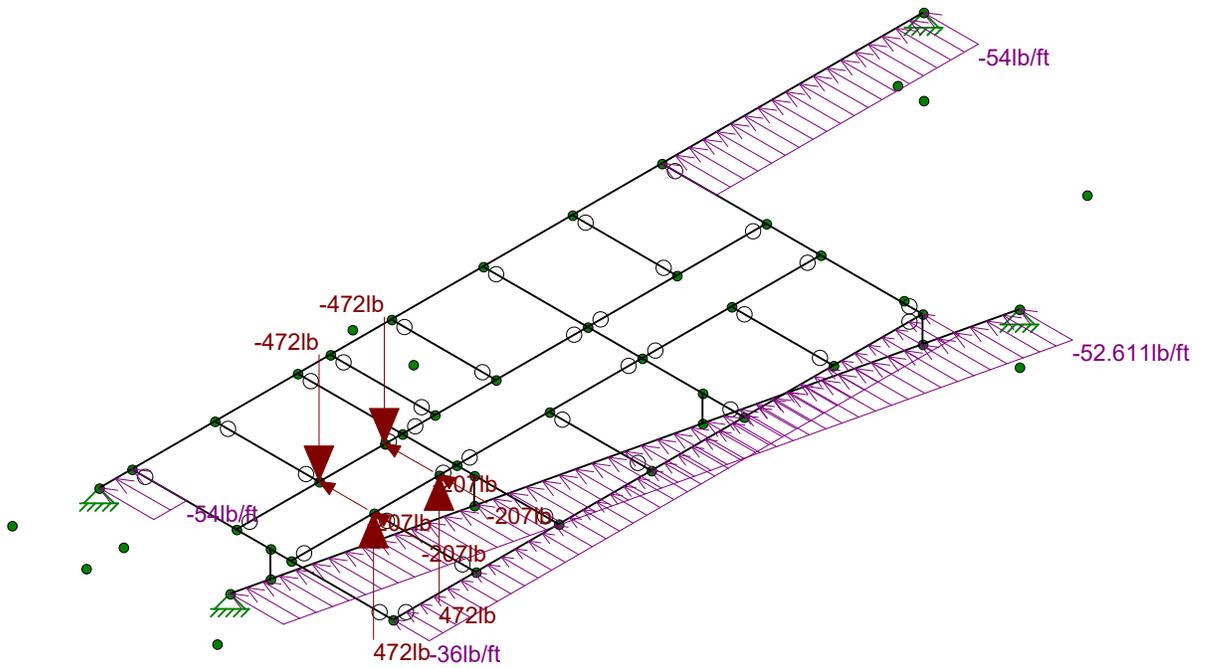
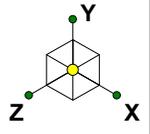
EXISTING CONNECTION TO BE REINFORCED
(SEE DETAIL S-2)

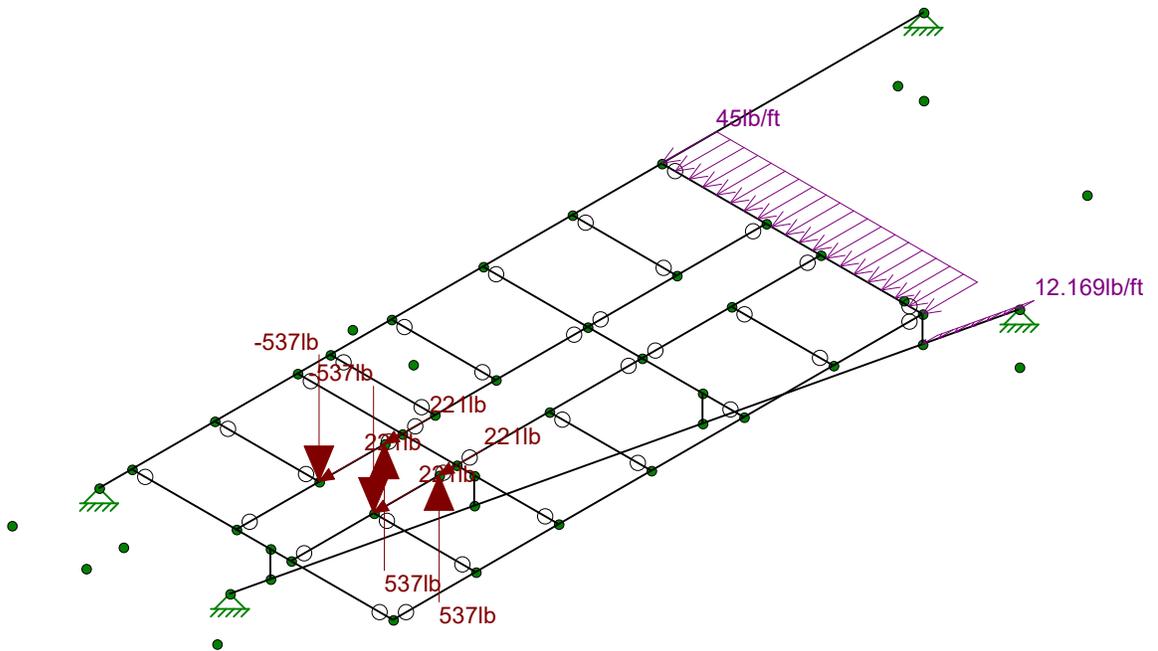
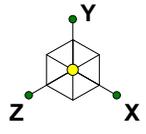












APPENDIX G – PLATFORM
SOFTWARE OUTPUT

APPENDIX H – PLATFORM
ADDITIONAL CALCULATIONS

Job No. 10710.NJJER01023C
 Sheet No. 1 of 3
 Calculated By RTK Date : 12/21/21
 Checked By Date :



Existing Connection Anchor Check - Platform

Proposed anchors are **5/8** diameter **HY20** with **6** inch embedment
 Tallow = **815** lbs
 Vallow = **1355** lbs

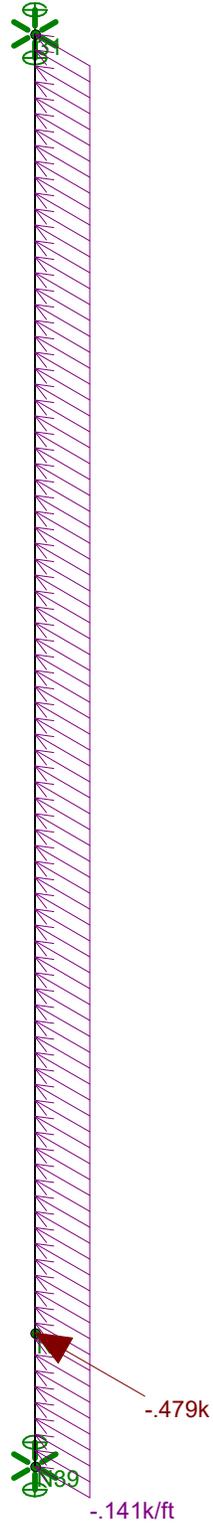
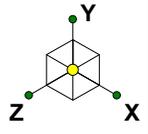
Max Loads Per Risa Output: Node **N14** LC **5**
 Tmax = **1598.0** lbs
 Vmax = **4000.0** lbs

Interaction:

of Anchors = **8**
 Reduction due to existing conditions? **No**

$$\frac{1598.0}{6520.0} + \frac{4000.0}{10840.0} = \mathbf{0.61} \leq 1.0, \text{ OK}$$

Comments: The existing connection are 3/4" dia. Hilti HIT HY-20 w/ 8" embed. according to construction drawing by APT Engineering dated 08/18/09.



Loads: BLC 1, WL
Envelope Only Solution

Member: **M11A**

Shape:

Material: **RIGID**

Length: **11.635 ft**

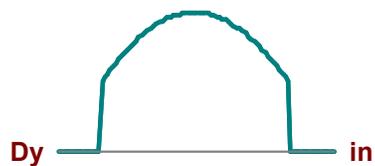
I Joint: **N39**

J Joint: **31**

Code Check: **No Calc**

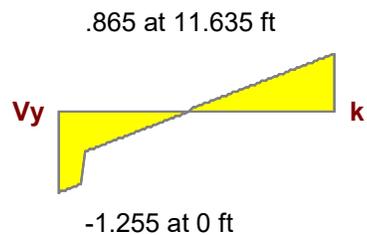
Report Based On 97 Sections

0 at 5.696 ft



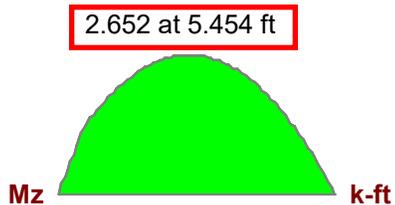
Dz _____ in

A _____ k



Vz _____ k

T _____ k-ft



My _____ k-ft

fa _____ ksi

f(y) _____ ksi

f(z) _____ ksi

Design Loads on Other Structures - Platform

Wind Load

Per ASCE 7-16 Chapters 1, 26, & 29

z=	78.22	ft - Top of bulkhead
V=	116	MPH - Risk Category II
Exposure:	B	Section 26.7.3
α =	7	Table 26.91
Z_g =	1200	ft Table 26.91
K_z =	0.922	Table 29.3-1
K_{zt} =	1.00	Section 26.8.2
K_d =	0.85	Table 26.6-1
K_e =	1.00	Section 26.9
q_z =	27.0	psf (Section 29.10.2)

Per ASCE 7-16 Section 29.4 Design Wind Loads: Other Structures

GC_r =	1.9	Section 29.4.1 ($A_r < 0.1B_h$)
F=	51	PSF
0.6 X F =	31	PSF (ASD)

EXISTING BULKHEAD WALL CHECK - PLATFORM

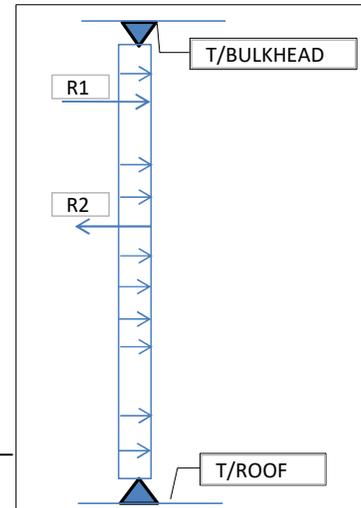
DATA:

Wall Height = 11.64 ft
 Brick Thickness = 8.0 in
 qz = 30.8 psf

Type of Connection: HILTI

Per Risa Output:

LC: 12 b: 9 in *Distance between anchors
 Force 1: N14 R1: 0.479 kips Dist to T/Roof 23 in
 Force 2: R1: kips Dist to T/Roof in
 M_{Max} = 2.652 ft-kips *Per Risa Output



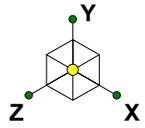
Bulkhead wall for illustration purpose Only

CALCULATIONS:

b_{eff} = 55.00 in *Effective length of wall
 Wind Load = 141 lbs/ft
 P_{wall} = 4266.2 lbs

$\delta_{\max\&\min} = P/A \pm M/S = \frac{4266.17}{440} \pm \frac{31824.00}{4693}$
 $\delta_{\max} = 16$ psi < 0.25 x f'm = 250 psi (f'm = 1000psi typical for masonry)
 $\delta_{\min} = 3$ psi < -40 psi (-ve, in tension)

THEREFORE, O.K.

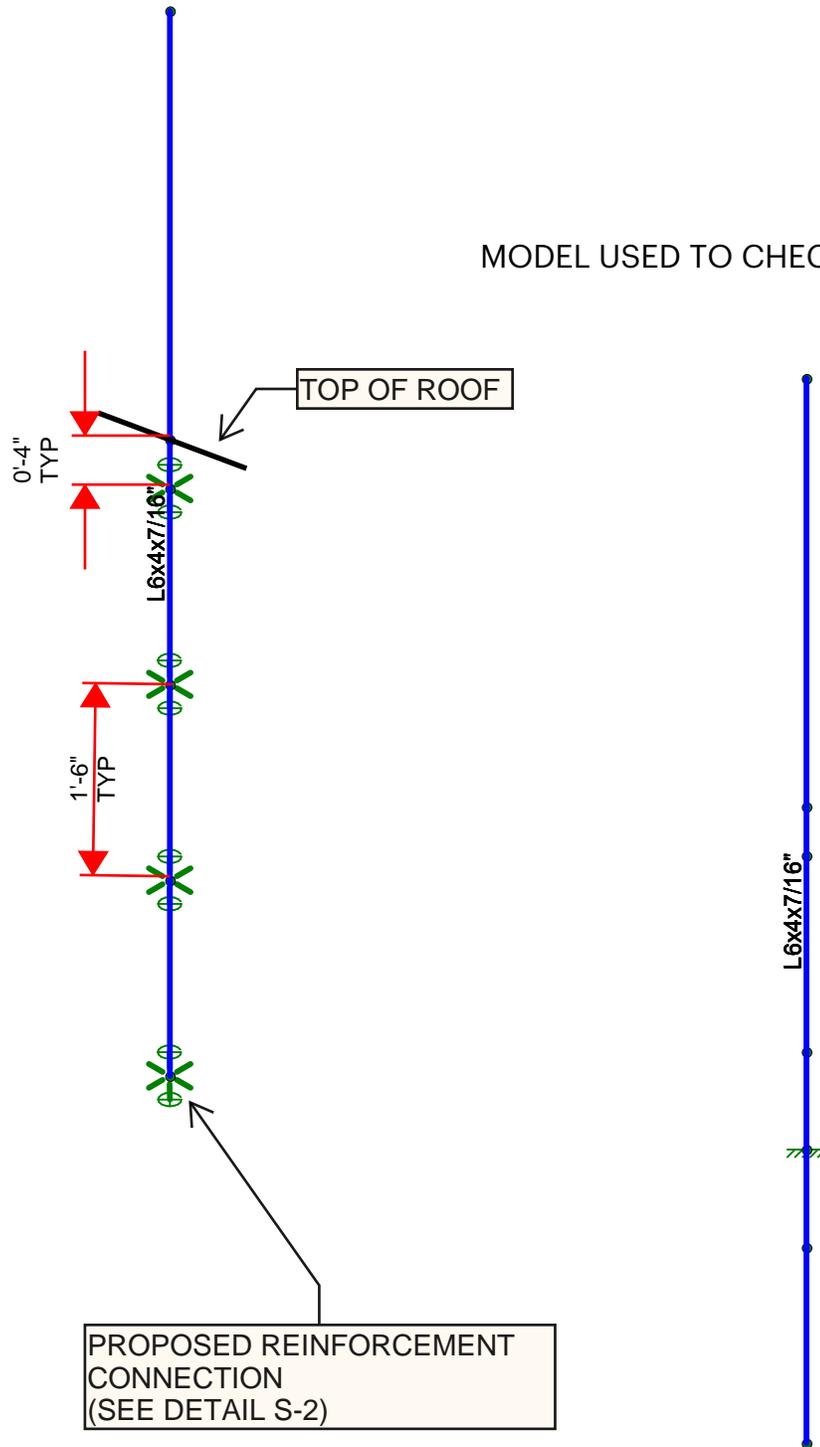


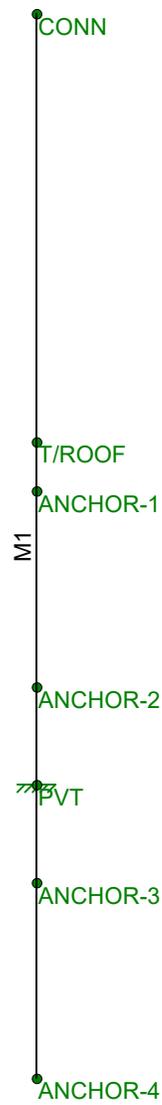
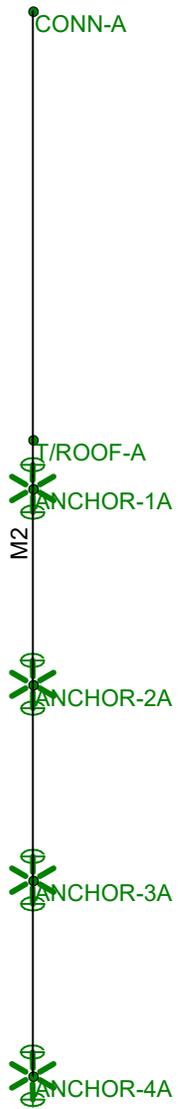
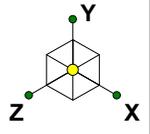
PROPOSED PLATFORM CONNECTION REINFORCEMENT

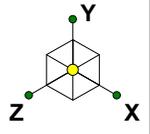
Section Sets
■ L6x4x7/16"

MODEL USED TO CHECK ANGEL CAPACITY

MODEL USED TO CHECK ANCHOR CAPACITY





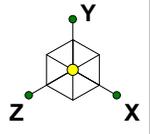


-0.834k



-0.834k





Code Check (Env)	
Black	No Calc
Red	> 1.0
Magenta	.90-1.0
Green	.75-.90
Cyan	.50-.75
Blue	0.-.50



Member Code Checks Displayed (Enveloped)
Envelope Only Solution

Job No. 10710.NJJER01023C
Sheet No. 2 of 3
Calculated By RTK Date : 12/21/21
Checked By Date :



Existing Connection Anchor Check - Platform

Proposed anchors are **5/8** diameter **HY20** with **6** inch embedment

Tallow = **815** lbs

Vallow = **1355** lbs

Max Loads Per Risa Output: Node **N15** LC **17**

Tmax = **0.0** lbs

Vmax = **6860.0** lbs

Interaction:

of Anchors = **8**

Reduction due to existing conditions? **No**

$$\frac{0.0}{6520.0} + \frac{6860.0}{10840.0} = \mathbf{0.63} \leq 1.0, \text{ OK}$$

Comments: The existing connection are 3/4" dia. Hilti HIT HY-20 w/ 8" embed. according to construction drawing by APT Engineering dated 08/18/09.

Job No. 10710.NJJER01023C
 Sheet No. 3 of 3
 Calculated By RTK Date : 12/21/21
 Checked By Date :



Proposed Connection Anchor Check - Vertical Straps

Proposed anchors are 5/8 diameter HY270 with 6 inch embedment

Tallow = 1025 lbs

Vallow = 1405 lbs

Max Loads Per Risa Output: Node PVT LC 1

Tmax = 713.9 lbs

Vmax = 0.0 lbs

Interaction:

of Anchors = 1 (Total of 4)

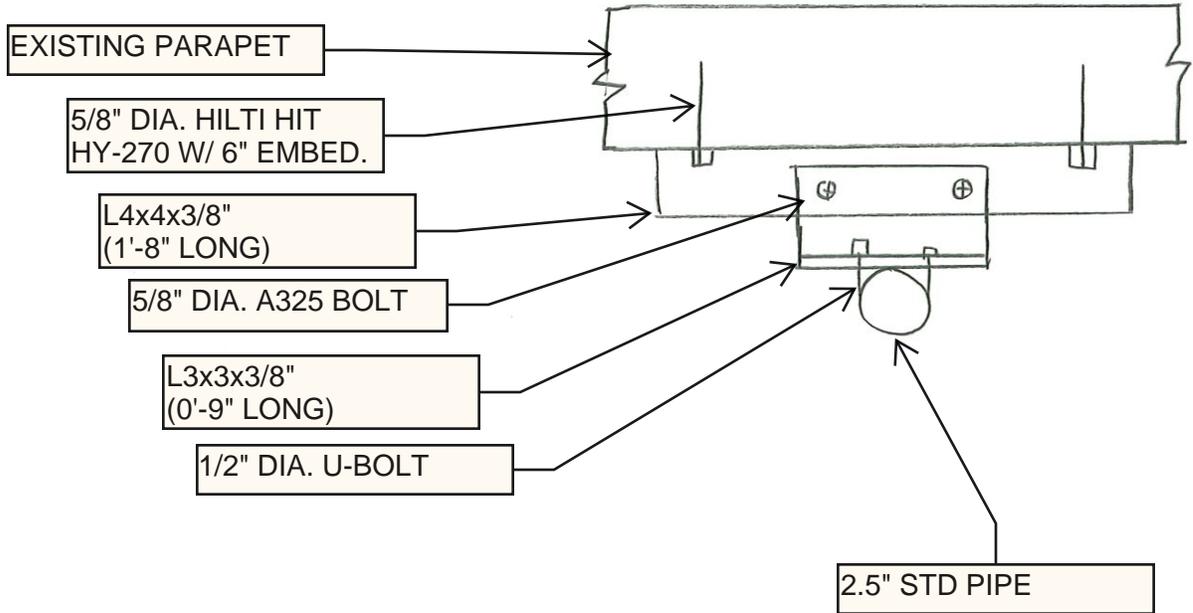
Reduction due to existing conditions? No

$$\frac{713.9}{1025.0} + \frac{0.0}{1405.0} = 0.70 \leq 1.0, \text{ OK}$$

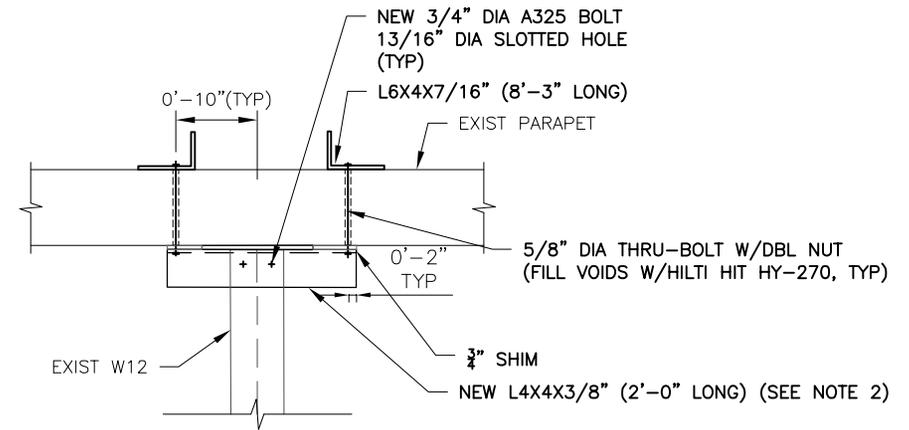
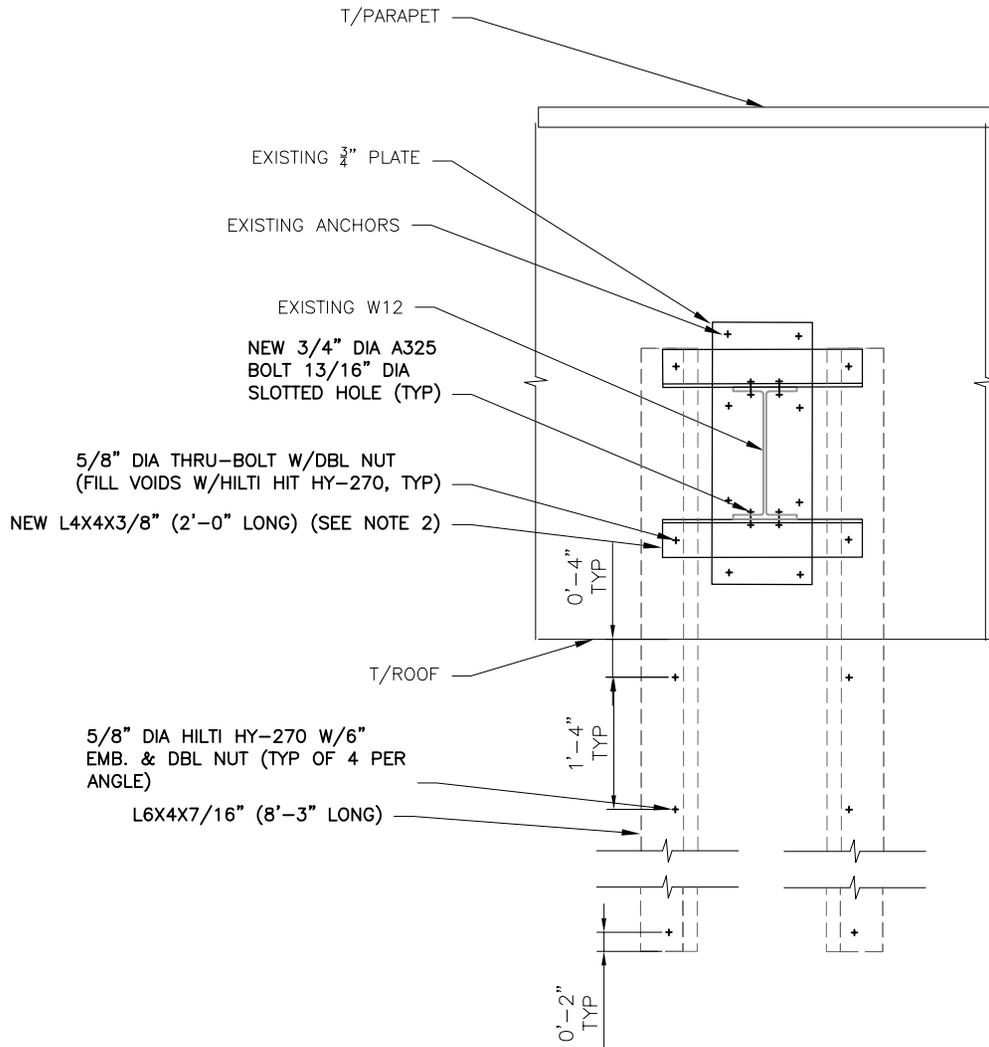
Comments: Connections are (4) 5/8" dia. Hilti HY-270 with 6" embedment spaced at 16" OC.
 $T_{max} = (834 \text{ lbs}/4 \text{ anchors}) + ((3543 \text{ lbs-ft}/4.334 \text{ ft})/2 \text{ anchors in tension}) = 714 \text{ lbs per anchor}$

APPENDIX I
REFERENCES AND STRUCTURAL DETAILS

DETAIL S-1: PROPOSED MOUNT CONNECTION



DETAIL S-2: PROPOSED PLATFORM CONNECTION REINFORCEMENT



NOTES:

1. CONTRACTOR SHALL VERIFY IF OBSTRUCTIONS ARE PRESENT PRIOR TO FABRICATION OF STEEL AND RELOCATE EXIST OBSTRUCTIONS AS REQUIRED TO ACCOMMODATE INSTALLATION.
2. CONTRACTOR SHALL OFFSET ANGLE TO ACCOMMODATE EXISTING CONDITIONS.
3. CONTRACTOR SHALL COAT THRU-BOLTS W/SILICONE AND SEAL ALL CRACKS WEATHER TIGHT.
4. CONTRACTOR TO APPLY BEAD OF SILICONE AROUND TOP 3 SIDES OF NEW ANGLE AND SHIMS.
5. CONTRACTOR TO FIELD DRILL HOLES IN EXIST PLATFORM BEAMS FOR PROPOSED ANCHORS ($\frac{13}{16}$ " HOLES FOR $\frac{3}{4}$ DIA ANCHORS).



CITY COUNCIL AGENDA

DEPT.: City Manager

DATE: June 8, 2022

CONTACT: Greg Usry, City Manager

AGENDA ITEM: Consideration to refer to the BAR an application from Verizon Wireless for antenna work at the existing public utility wireless communications services facility at 66 Milton Rd.

FOR THE MEETING OF:

June 15, 2022

RECOMMENDATION: That the Council consider referring the application to the BAR.

IMPACT: Environmental Fiscal Neighborhood Other:

BACKGROUND:

All wireless telecommunications facilities within the City must comply with Chapter 196 "Wireless Telecommunications Facilities" of the City Code and all other applicable law and regulations. All wireless telecommunications facilities (including modifications), or construction, modification or replacement of support structures in connection with the installation of wireless telecommunications facilities must be permitted by a special use permit, special exception permit or eligible facility permit. Before the Council considers this application, the Council shall refer it to the Board of Architectural Review for and advisory opinion.

LAW OFFICES OF
SNYDER & SNYDER, LLP
94 WHITE PLAINS ROAD
TARRYTOWN, NEW YORK 10591

NEW YORK OFFICE
445 PARK AVENUE, 9TH FLOOR
NEW YORK, NEW YORK 10022
(212) 749-1448
FAX (212) 932-2693

(914) 333-0700
FAX (914) 333-0743

NEW JERSEY OFFICE
ONE GATEWAY CENTER, SUITE 2600
NEWARK, NEW JERSEY 07102
(973) 824-9772
FAX (973) 824-9774

WRITER'S E-MAIL ADDRESS

LESLIE J. SNYDER
ROBERT D. GAUDIOSO

REPLY TO:

DAVID L. SNYDER
(1956-2012)

Msheridan@snyderlaw.net

Tarrytown Office

May 13, 2022

Kerry Lenihan, Building Inspector
City of Rye
1051 Boston Post Road
Rye, New York 10580

Re: NY-Rye Playland
New York SMSA Limited Partnership d/b/a Verizon Wireless
Building Permit Application for Antenna Work at the Existing
Public Utility Wireless Telecommunications Services Facility
at the Property Known as 66 Milton Road, City of Rye, NY

Dear Mr. Lenihan:

We are the attorneys for New York SMSA Limited Partnership d/b/a Verizon Wireless ("Verizon Wireless") in connection with its request to perform certain work on its existing wireless telecommunication services facility at the captioned site ("Antenna Work"). The Antenna Work consist of replacing and installing antennas on the existing building and replacing and installing ancillary equipment in connection with the antennas, within the building and within Verizon Wireless' existing equipment shelter.

As indicated on the plans submitted herewith, the antennas will be located on the tower, painted to match the tower and the ancillary equipment will be located within the tower and within Verizon Wireless existing equipment shelter on the roof of the building. In connection with the building department's request for additional information, I have enclosed the following:

1. An updated Building Permit Application along with a Board of Architectural Review Application, and an Engineering Review Application;
2. Affidavit of mailing together with Proof of mailing;
3. A set of drawings with respect to the Antenna Work, prepared by APT Engineering ("APT"), which have been signed and sealed by a New York State licensed professional engineer; and

4. Sets of photos of the front, rear, and side view where the work is to be done.

Please advise when the building permit is ready or, if deemed necessary, when this matter will be before the Board of Architectural Review. If you have any questions or require any additional documentation, please do not hesitate to call me or Leslie Snyder at (914) 333- 0700.

Respectfully submitted,
Snyder & Snyder, LLP

By: 
Michael P. Sheridan, Esq.

MS/gm

cc: Verizon Wireless

Z:\SSDATA\WPDATA\SS4\WP\NEWBAN\MJOE ROLLINS\LTE ZONING ANALYSES\RYE PLAYLAND (CITY OF RYE)\LSUB6\ADDTL MATERIALS
FILING\BP.RESPONSE.LTR.FIN.DOCX

AFFIDAVIT OF MAILING

State of New York)
) ss:
County of Westchester)

Gina Magliocco being duly sworn, deposes and says that she is over twenty-one years of age and works at 94 White Plains Road, Tarrytown, in the State of New York; that she is a paralegal at Snyder & Snyder, LLP, the attorney for New York SMSA Limited Partnership d/b/a Verizon Wireless, regarding an application of the modification of its existing public utility wireless communications facility known as 66 Milton Road, Rye, New York. On May 13, 2022, she served notice, a copy of which is attached hereto upon the following named persons at the address set forth for each person, as shown on the attached list, by depositing said notice by certified mail, at the United States Post Office in Tarrytown, New York, a true copy of the said notices, addressed to each one of the persons named.



Gina Magliocco

Sworn to and subscribed before me
this 13th day of May 2022



NOTARY PUBLIC

David James Kenny
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 02KE6343903
Qualified in Westchester County
Commission Expires June 20, 2020 ✓

24



Building Permit Application

City of Rye, New York Building Department
 1051 Boston Post Road, Rye, New York 10580
 Building@ryeny.gov (914) 967-7372

www.ryeny.gov

Permit Type (Check Applicable Box):

One- and Two-Family: <input type="checkbox"/> New Construction <input type="checkbox"/> Addition/Alteration Multi-Family and Commercial: <input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Addition/Alteration <input type="checkbox"/> Change of Tenant Occupancy** <input type="checkbox"/> Temporary Tent**	Other: <input type="checkbox"/> Interior Building* <input type="checkbox"/> Modification of Approved Permit/Plans <input type="checkbox"/> Extension of Approved Building Permit* <input type="checkbox"/> Re-roofing** Value of Improvement: <div style="text-align: right; font-size: 1.2em;">\$ 30,000</div>
---	---

* Complete Sections A thru H only., **Complete Sections A, B, C, D, E and H only

A. Property Information:

Street Address:	66 Milton Road		
Property Area (Acres):	N/A		
Tax Map Designation:	Sheet: 146	Block: 11	Lot(s): 73
	Sheet:	Block:	Lot(s):
Zoning District:	RA-3		
Current Use:	Public Utility Wireless Telecommunications Facility		
Proposed Use:	No Change		
Flood Insurance Zone:	NONE	Elevation:	30
Prior Bldg. Permit No.	<i>Required for Modifications and Extensions only</i>		

B. Architect/Engineer/Applicant Representative:

Name:	New York SMSA Limited Partnership d/b/a Verizon Wireless		
Address:	c/o Snyder & Snyder LLP, 94 White Plains Road		
City:	Tarrytown	State:	NY Zip: 10591
Phone:	914-333-0700	Email:	msheridan@snyderlaw.net

C. Contractor:

Name:	Squan Construction Services LLC	West. Co. Lic. #:	
Address:	193 Veterans Boulevard		
City:	Carlstadt	State:	NJ Zip: 07072
Phone:	201-463-0006	Email:	

NOTE: Please attach hereto, contractors insurance, (naming the City of Rye as certificate holder and additionally insured) including liability and Form NYS C105 workers compensation (NYS 105) (or a signed New York State compensation waiver).

For Building Department Use Only:

Application Receipt Date:



Building Permit Application

City of Rye, New York Building Department

D. Property Owner/Applicant:

Name*: Blind Brook Lodge Owners, Inc.
 Address: c/o RMR Residential Realty LLC, 76 Lexington Ave
 City: White Plains State: NY Zip: 10606
 Phone: _____ Email: _____

* If owner or applicant is an LLC, please provide name of principal and contact information.

E. Project Description: (Please describe the proposed project).

The proposed work consist of replacing and installing antennas on the existing building and replacing and installing ancillary equipment in connection with the antennas, within the building and within Verizon Wireless' existing equipment shelter.

F. Regulatory Compliance:

1. Is the project located in a flood zone or floodway?
(If yes, Chapter 100, Floodplain Management, may apply) Yes No N/A
2. Is the project a Protected Structure or within a Preservation District?
(If yes, Chapter 117, Landmarks Preservation, may apply) Yes No N/A
3. Is a fence or wall proposed as part of the application?
(If yes, Chapter 90, Fences and Walls, may apply) Yes No
4. Is the property located within a designated coastal area boundary?
(If yes, Chapter 73, Coastal Zone Management, may apply) Yes No N/A
5. Is the property located within 100 feet of a wetland?
(If yes, Chapter 195, Wetlands and Watercourses, may apply) Yes No N/A
6. Is any land disturbing activity proposed greater than 300 square feet?
(If yes, Please complete an Engineering Review Form as required by Chapter 174, Stormwater Management, of the Rye City Code) Yes No
7. Is any tree removal proposed?
(If yes, Chapter 187, Trees may apply) Yes No
8. Is any signage proposed?
(If yes, Chapter 165, Signs may apply) Yes No
9. Would the project change the exterior appearance of the structure?
(If yes, Chapter 153, Architectural Review applies. Please complete the Board of Architectural Review Application attached hereto.) Yes No N/A*

* As noted on the plans submitted simultaneously herewith, all mounts, antennas, equipment and cabling will be painted to match the exterior building facade. As such, the project will not change the exterior appearance of the structure.



Building Permit Application

City of Rye, New York Building Department

G. Zoning Compliance:

Applicants are responsible for their applications to be compliant with all requirements of Chapter 197, Zoning, of the Rye City Code. To assist the City in assessing compliance, please complete the table below and include on the first page of the plan submission. This table includes many, but not all of the bulk and dimensional requirements of the City Zoning Code. Please visit www.ryeny.gov for entire Code.

RA-3 Zoning District:	Allowed/Required ¹	Existing	Proposed ²
Principal Building(s):			
Lot Area (in square feet)			
Floor Area Ratio³			
First Floor Area	n/a		
Second Floor Area	n/a		
Attic Floor Area	n/a		
Other Area ⁴	n/a		
Total Floor Area			
F.A.R. ⁵			
Yard Setbacks			
Front Yard			
Shortest Side Yard			
Total of Two Side Yards			
Rear Yard			
Lot Width			
Height/Stories			
Number of Stories			
Building Height			
First Floor Elevation ⁶			
Parking			
Number of Spaces			
Closest Side Yard Setback			
Accessory Building(s):			
Floor Area			
Front Yard Setback			
Closest Side Yard Setback			
Rear Yard Setback			
Max. Rear Yard Coverage	0.0%	0.0%	0.0%
Number of Stories			
Building Height			

¹ Carefully review all sections of Article V of the City Zoning Code **AND** footnotes included in Tables A, B and C.
² Provide copies, if any, of all variances issued for the property regardless of whether they are related to the project.
³ Floor area diagram of every floor (and accessory building(s)) is required for all new construction and additions.
⁴ Shall include other floors (if applicable) and all existing and proposed accessory building(s) on the property.
⁵ F.A.R. shall be rounded to not more than three (3) decimal places (e.g. 0.256)
⁶ For single-family residential buildings see Section 197-46.1.



Building Permit Application

City of Rye, New York Building Department

H. Affidavit

State of New York
County of Westchester

Ashley Cataloni on behalf of New York SMSA Limited Partnership d/b/a Verizon Wireless

I, _____ (please print), being duly sworn, depose and say that I am the owner (lessee, engineer, surveyor, architect, builder, or agent of the owner) in fee of the premises to which this application applies; that I (the applicant) is duly authorized to make this application and that the statements contained in the papers submitted herein are true to the best of his knowledge and belief, and that the work will be performed in the manner of set forth in the application and in the plans and specification filed therewith, and in accordance with State Uniform Building Code and all other applicable laws, ordinances and regulations of the municipality.

The signature of the applicant also grants consent to having relevant City Staff or City Board or Commission members responsible for of the review or approval of this application(s) to enter the property of the subject application.

NEW YORK SMSA LIMITED PARTNERSHIP D/B/A VERIZON WIRELESS

By: *Ashley Cataloni*
Signature of Applicant

SWORN to before me this 13th day of MAY, 20 22.

[Signature]
Notary Public



Note: For additional information and a complete description of the Department's building permit process and submission requirements please visit the Building Department page of the City's website at www.ryeny.gov/government/building-department.



Board of Architectural Review Application
City of Rye, New York Building Department
 1051 Boston Post Road, Rye, New York 10580
Building@ryeny.gov (914) 967-7372

www.ryeny.gov

A. Address: 66 Milton Road

B. Architect/Engineer/Applicant Representative:

Name: New York SMSA Limited Partnership d/b/a Verizon Wireless
 Address: c/o Snyder & Snyder LLP, 94 White Plains Road
 City: Tarrytown State: NY Zip: 10591
 Phone: 914-333-0700
 Email: msheridan@snyderlaw.net

C. Property Owner:

Name*: Blind Brook Lodge Owners, Inc.
 Address: c/o RMR Residential Realty LLC, 76 Lexington Ave
 City: White Plains State: NY Zip: 10606
 Phone: _____
 Email: _____

** If owner is an LLC, please provide name of principal and contact information.*

D. Project Description (please specify the following):

	Material	Color
Exterior Walls:	<u>N/A</u>	<u>N/A</u>
Roof:	<u>N/A</u>	<u>N/A</u>
Trim:	<u>N/A</u>	<u>N/A</u>
Shutters:	<u>N/A</u>	<u>N/A</u>
Chimney:	<u>N/A</u>	<u>N/A</u>

The following have been provided:

	Yes	No
Photographs:	<input type="checkbox"/>	<input type="checkbox"/>
Elevation:	<input type="checkbox"/>	<input type="checkbox"/>
Plot Plan:	<input type="checkbox"/>	<input type="checkbox"/>



Board of Architectural Review Application

City of Rye, New York Building Department

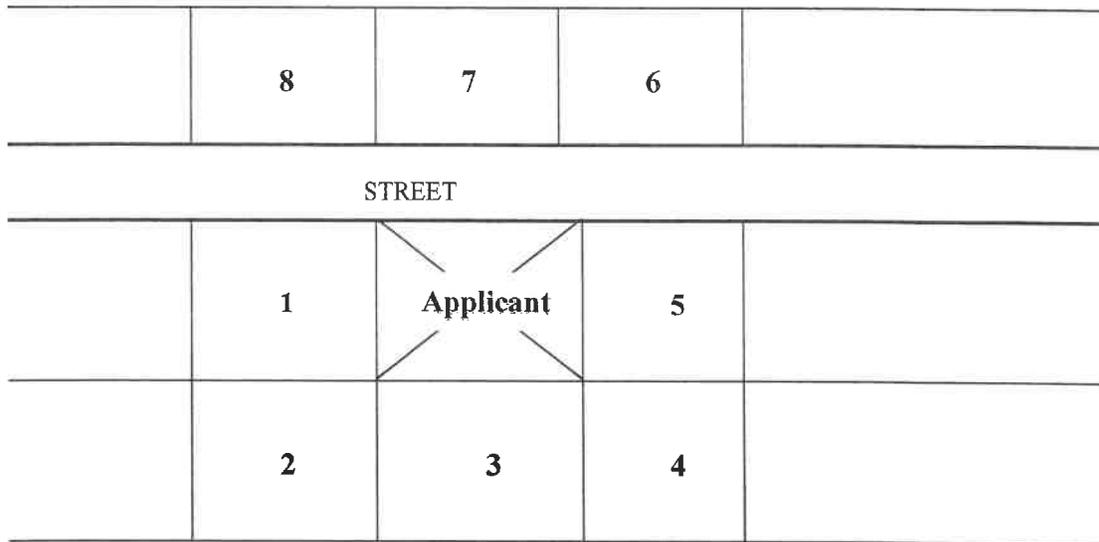
1051 Boston Post Road, Rye, New York 10580

Building@ryeny.gov

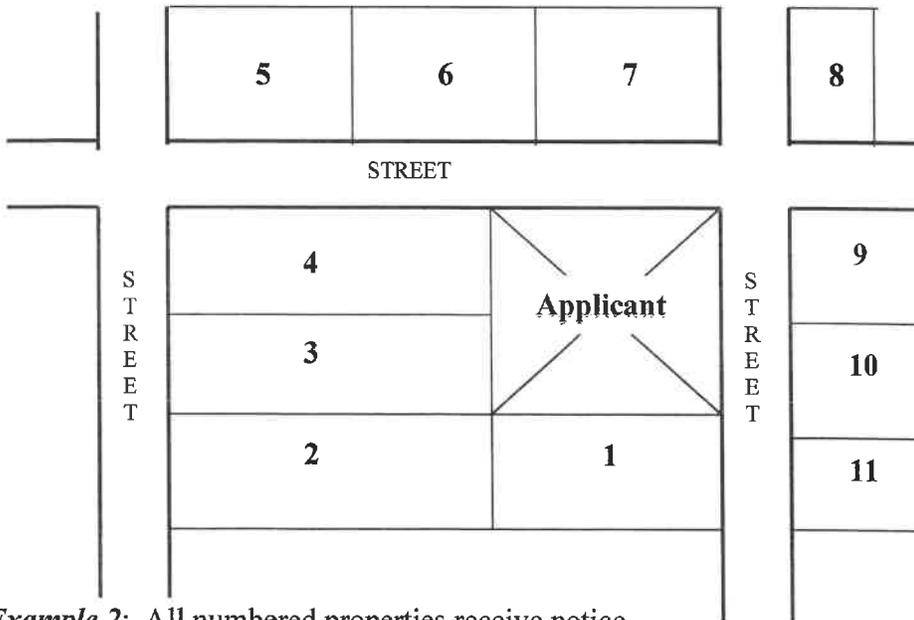
(914) 967-7372

www.ryeny.gov

At least **fourteen (14) days** prior to the Board of Architectural Review meeting date, the applicant must circulate the public notice to all property owners *abutting and located across the street* from the subject property. Notice shall be sent via certified mail (no return receipt). A copy of the certificate of mailing shall be included with the submission of a building permit to the City Building Department. Names and addresses of neighbors can be found by using the “abutters” tab from the mapping section of the City’s website at www.ryeny.gov.



Example 1: All numbered properties receive notice.



Example 2: All numbered properties receive notice.



Board of Architectural Review Application
City of Rye, New York Building Department
 1051 Boston Post Road, Rye, New York 10580
Building@ryeny.gov (914) 967-7372

www.ryeny.gov

NOTICE

An application is being made for a building permit to the City of Rye, New York Building Department for the following:

- Addition
- Alteration
- New structure

For a property located at: 66 Milton Road

(Check only one of the following paragraphs)

This application will be referred to the Board of Architectural Review for aesthetic consideration pursuant to Chapter 53 of the Rye City Code, and will be reviewed by the Board at a future public meeting. To determine when this application will be reviewed, please visit the City of Rye website at www.ryeny.gov and click on *Board of Architectural Review Agenda*.

This application is being submitted for a Building Permit as a "Small Project" pursuant to Section 53-1 (B) of the Rye City Code. "Small Projects" are exempt from review by the Board of Architectural Review unless referred by the Building Inspector upon finding that the project may have a substantial aesthetic impact upon immediate neighboring properties. The Board of Architectural Review has prepared guidelines for such referral of "Small Projects", including the receipt of comments from neighbors regarding aesthetic impact. **If you wish to review and comment on this application, you must contact the Building Department within fourteen (14) days of the date indicated on this form.**

This notice is being submitted to you by New York SMSA Limited Partnership d/b/a Verizon Wireless
 (please print)

May 13, 2022
 Date



Engineering Review Application

City of Rye, New York Building Department

1051 Boston Post Road, Rye, New York 10580
 Phone 914.967.7372 Email: Building@ryeny.gov www.ryeny.gov

Section I. Applicant Information

Property Address: 66 Milton Road, Rye, New York

Description of work: The proposed work consist of replacing and installing antennas on the existing building and replacing and installing ancillary equipment in connection with the antennas, within the building and within Verizon Wireless' existing equipment shelter.

Applicant: New York SMSA Limited Partnership d/b/a Verizon Wireless Owner: Blind Brook Lodge Owners, Inc.

Address: c/o Snyder & Snyder, 94 White Plains Road Address: c/o RMR Residential Realty LLC, 76 Lexington Avenue

City/State/Zip: Tarrytown, NY 10591 City/State/Zip: White Plains, NY 10606

Phone: 914-333-0700 Phone: _____

Email: msheridan@snyderlaw.net Email: _____

Section II. Application Requirements and Conditions

- A. Drawings must be submitted for all applications (2 COPIES)
- B. Drawing scale must be at least 1" = 30'
- C. Street name and house number must be clearly identified.
- D. If applicable, location, size, and type of trees on property shall be shown on drawing.
- E. Location of any trees in the Right-of-Way, AND any trees to be removed must be shown.
- F. All work must be in accordance with [Chapter 174, Stormwater Management, of the Rye City Code](#).
- G. All driveway work must comply with the City of Rye Code section 197-30.
- H. Existing and Proposed Contours shall be provided for any proposed change in grade.

Section III. Construction Requirements and Conditions

- A. Erosion control measures must be properly installed, maintained and inspected around the work site.
- B. Construction entrances must be properly maintained so that dirt and debris is not deposited on street.
- C. Exposed areas must be stabilized as soon as land alterations are completed.
- D. Any underground piping or structures must be inspected prior to backfilling.
- E. 24 hour notice is required for any inspection.

Section IV. Storm Drain Connection

Will a connection to the Storm Drain be made?
If YES, Right of Way Permit must be filed with Public Works. IF NO Proceed to Section V.

Section V. Signature

I hereby certify that I am duly authorized to file this application, that all statements contained in this application are true to the best of my knowledge and belief and that the work will be performed in the manner set forth in the application, plans and specifications filed herewith in compliance with the applicable laws, ordinances, codes, rules, regulations and directives of the City of Rye. The plans and specifications have been prepared so as to include all necessary data to show compliance with the State, County and City of Rye regulations. The undersigned understands that the filing of this application amounts to the written consent to all necessary inspection by the Building or Engineering Departments in connection with this application.

Applicant Ashley Cataldi on behalf of New York SMSA Limited Partnership d/b/a Verizon Wireless Date 5/13/22

Applicant (print) Ashley Cataldi Title _____

Location
 Permit number
 Fee \$ 500.00
 Date
 For Office use only



Board of Architectural Review Application
City of Rye, New York Building Department
 1051 Boston Post Road, Rye, New York 10580
Building@ryeny.gov (914) 967-7372

www.ryeny.gov

NOTICE

An application is being made for a building permit to the City of Rye, New York Building Department for the following:

- Addition
- Alteration
- New structure

For a property located at: 66 Milton Road

(Check only one of the following paragraphs)

This application will be referred to the Board of Architectural Review for aesthetic consideration pursuant to Chapter 53 of the Rye City Code, and will be reviewed by the Board at a future public meeting. To determine when this application will be reviewed, please visit the City of Rye website at www.ryeny.gov and click on *Board of Architectural Review Agenda*.

This application is being submitted for a Building Permit as a "Small Project" pursuant to Section 53-1 (B) of the Rye City Code. "Small Projects" are exempt from review by the Board of Architectural Review unless referred by the Building Inspector upon finding that the project may have a substantial aesthetic impact upon immediate neighboring properties. The Board of Architectural Review has prepared guidelines for such referral of "Small Projects", including the receipt of comments from neighbors regarding aesthetic impact. **If you wish to review and comment on this application, you must contact the Building Department within fourteen (14) days of the date indicated on this form.**

This notice is being submitted to you by

New York SMSA Limited Partnership d/b/a Verizon Wireless
 (please print)

May 13, 2022

Date



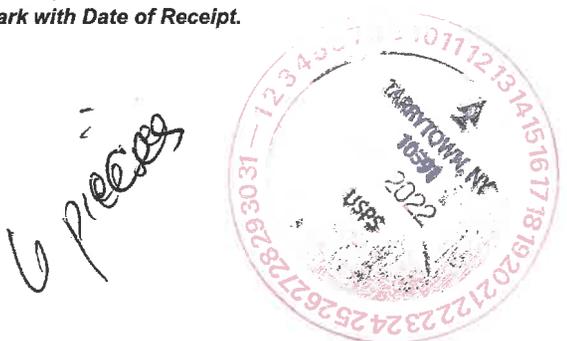
Certificate of Mailing — Firm

Name and Address of Sender SNYDER & SNYDER LLP 94 WHITE PLAINS ROAD TARRYTOWN NY 10591	TOTAL NO. of Pieces Listed by Sender <h1 style="font-size: 2em;">13</h1>	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here <i>Postmark with Date of Receipt.</i> <div style="text-align: center;"> </div> <p style="text-align: center; font-weight: bold;">CERTIFICATE OF MAILING POSTAGE DUE: \$ 6.11</p>
		Postmaster, per (name of receiving employee)	

Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
1. 9200 1901 9403 8376 4055 60	JERMAR PROPERTIES LLC	0.53	0.47		
	1000 BOSTON POST RD				
	RYE NY 10580-2830				
2. 9200 1901 9403 8376 4056 45	1004 BPR RYE LLC	0.53	0.47		
	1004 BOSTON POST RD				
	RYE NY 10580-2830				
3. 9200 1901 9403 8376 4056 76	CHRIST EPISCOPAL CHURCH	0.53	0.47		
	2 RECTORY ST				
	RYE NY 10580-3818				
4. 9200 1901 9403 8376 4057 20	25 MILTON ROAD LLC	0.53	0.47		
	25 MILTON RD				
	RYE NY 10580-3854				
5. 9200 1901 9403 8376 4057 68	CITY OF RYE	0.53	0.47		
	PARKLAND				
	3 CENTRAL AVE				
	RYE NY 10580				
6. 9200 1901 9403 8376 4058 36	BURKE T PATRICK AND CARRIE BURKE	0.53	0.47		
	40 MILTON RD				
	RYE NY 10580-3814				



Certificate of Mailing — Firm

Name and Address of Sender SNYDER & SNYDER LLP 94 WHITE PLAINS ROAD TARRYTOWN NY 10591	TOTAL NO. of Pieces Listed by Sender <div style="text-align: center; font-size: 24pt;">13</div>	TOTAL NO. of Pieces Received at Post Office™ 	Affix Stamp Here <i>Postmark with Date of Receipt.</i> <div style="text-align: center;">  </div>
Postmaster, per (name of receiving employee)			CERTIFICATE OF MAILING POSTAGE DUE: \$ 6.11

Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
7. 9200 1901 9403 8376 4059 04	CITY OF RYE	0.53	0.47		
	RYE ART CENTER				
	51 MILTON RD				
	RYE NY 10580-3854				
8. 9200 1901 9403 8376 4062 46	BLIND BROOK LODGE OWNERS	0.53	0.47		
	C/O: RMR RESIDENTIAL				
	66 MILTON RD				
	RYE NY 10580-3850				
9. 9200 1901 9403 8376 4062 77	BLIND BROOK LODGE OWNERS	0.53	0.47		
	C/O: RMR RESIDENTIAL				
	75 MILTON RD				
	RYE NY 10580				
10. 9200 1901 9403 8376 4063 21	IMAM FAIZA	0.53	0.47		
	78 MILTON RD				
	RYE NY 10580-3814				
11. 9200 1901 9403 8376 4063 52	ROMAN CATHOLIC CHURCH OF THE RESURRECTION	0.53	0.47		
	964 BOSTON POST RD				
	RYE NY 10580-2800				
12. 9200 1901 9403 8376 4063 90	JOCO PROPERTIES INC	0.53	0.47		
	979 BOSTON POST RD				
	CITY OF RYE 10580				

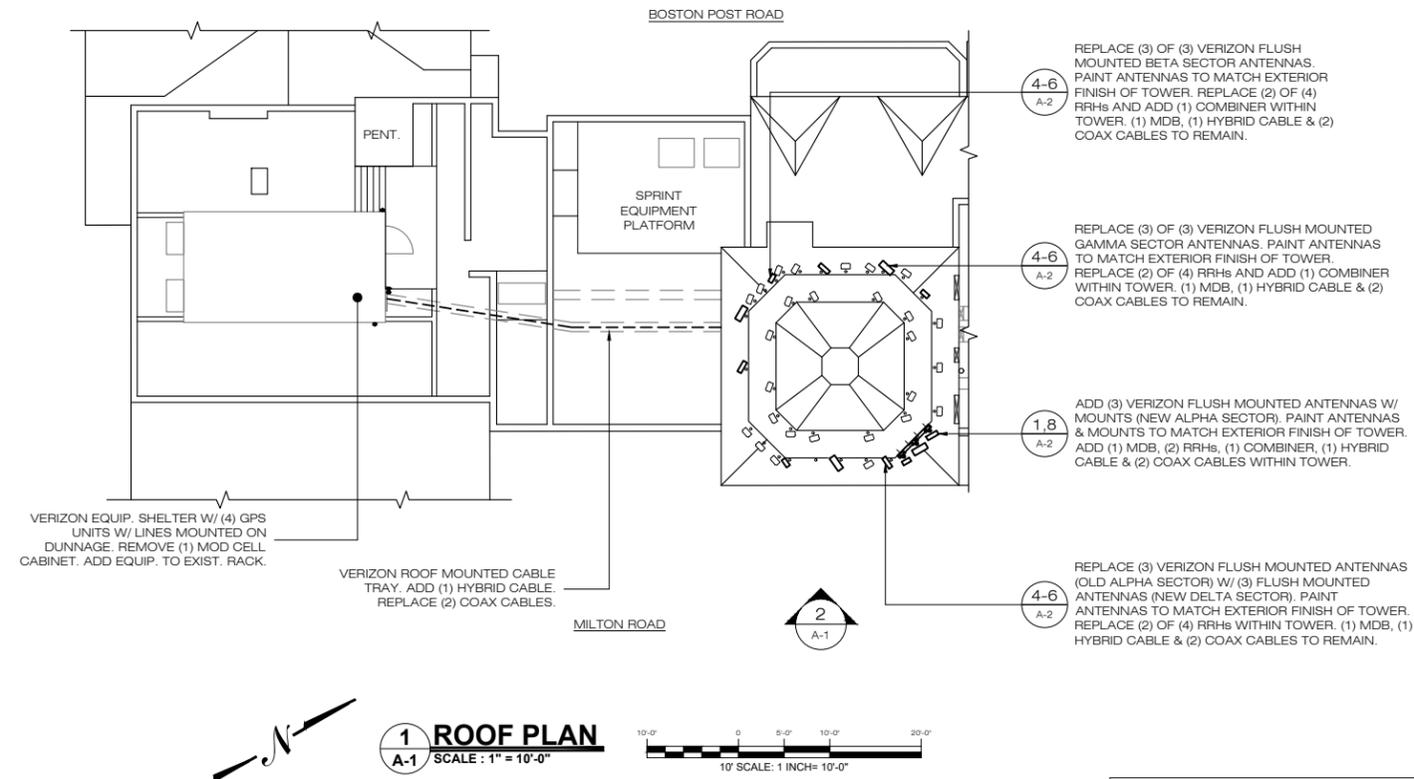


Certificate of Mailing — Firm

Name and Address of Sender SNYDER & SNYDER LLP 94 WHITE PLAINS ROAD TARRYTOWN NY 10591	TOTAL NO. of Pieces Listed by Sender <div style="text-align: center; font-size: 2em;">13</div>	TOTAL NO. of Pieces Received at Post Office™ <div style="text-align: center;"> </div>	Affix Stamp Here <i>Postmark with Date of Receipt.</i> <div style="text-align: center;"> </div>
	Postmaster, per (name of receiving employee)		

CERTIFICATE OF MAILING POSTAGE DUE: \$ 6.11

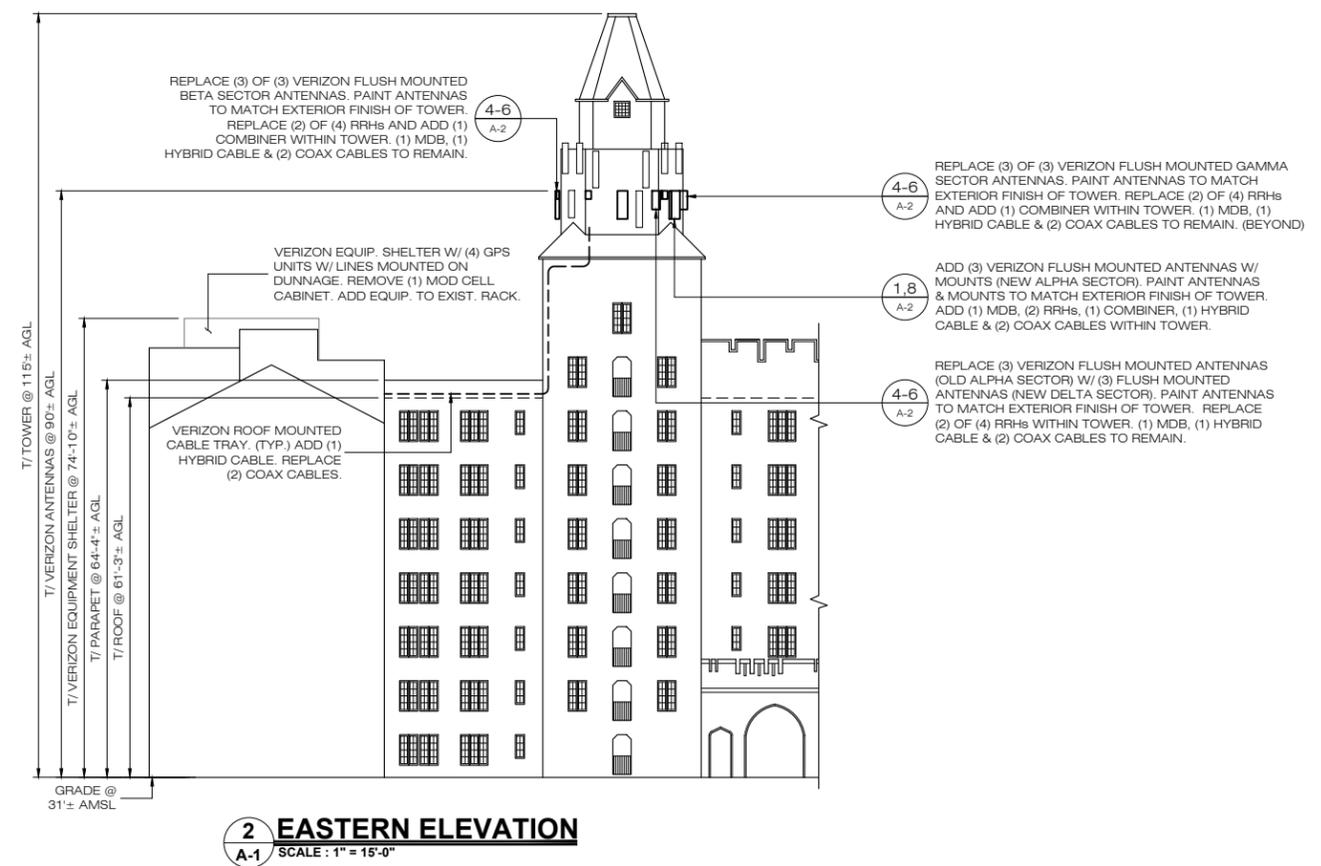
Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
13. 9200 1901 9403 8376 4064 37	CITY OF RYE PARKLAND BOSTON POST RD CITY OF RYE 10580	0.53	0.47		



1 ROOF PLAN
A-1 SCALE: 1" = 10'-0"



NOTE:
PAINT ALL MOUNTS, ANTENNAS, EQUIPMENT & CABLING TO MATCH EXTERIOR BUILDING FACADE.



2 EASTERN ELEVATION
A-1 SCALE: 1" = 15'-0"

SUBJECT SITE:
66 MILTON ROAD
RYE, NY 10580
SECTION: 146; BLOCK: 11; LOT: 73

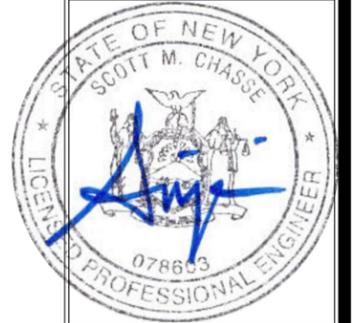
verizon
4 CENTEROCK ROAD
WEST NYACK, NY 10994



567 VAUXHALL STREET EXTENSION - SUITE 311
WATERFORD, CT 06385 PH: (860)-663-1697
WWW.ALLPOINTS TECH.COM FAX: (860)-663-0635

PERMIT DOCUMENTS

NO	DATE	REVISION
0	01/14/22	FOR PERMIT: THK
1	01/20/22	FOR PERMIT: THK
2	03/30/22	CITY COMMENTS: THK
3		
4		
5		
6		



DESIGN PROFESSIONALS OF RECORD
PROF: SCOTT M. CHASSE P.E.
COMP: APT ENGINEERING
ADD: 567 VAUXHALL STREET
EXTENSION - SUITE 311
WATERFORD, CT 06385

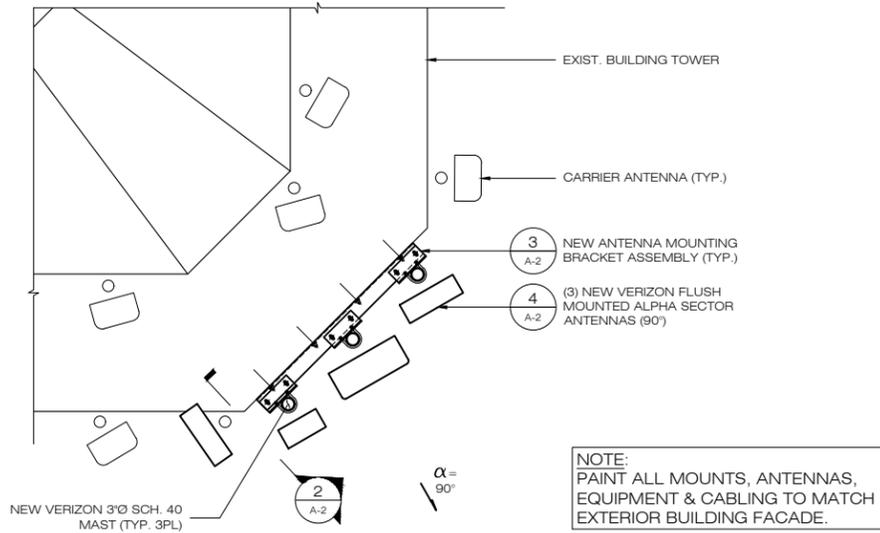
OWNER: BLIND BROOK LODGE
ADDRESS: OWNERS, INC
66 MILTON ROAD
RYE, NY 10580

NOTE:
IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209 (2) FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THE SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

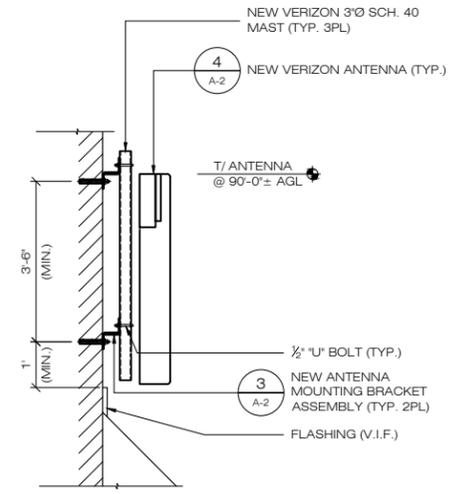
VERIZON AT "RYE PLAYLAND"
SITE: 66 MILTON ROAD
ADDRESS: RYE, NY 10580
APT FILING NUMBER: NY141LS62390
VZ FUZE ID: 16232198
VZ LOCATION CODE: 145305
DRAWN BY: ELZ
DATE: 01/14/22
CHECKED BY: THK

SHEET TITLE:
PLAN & ELEVATION

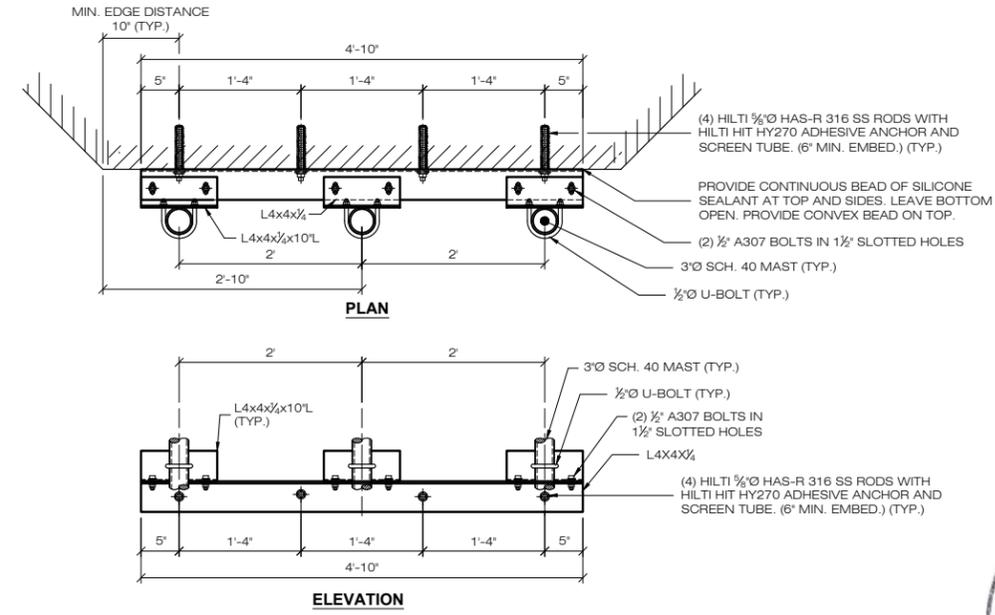
SHEET NUMBER:
A-1



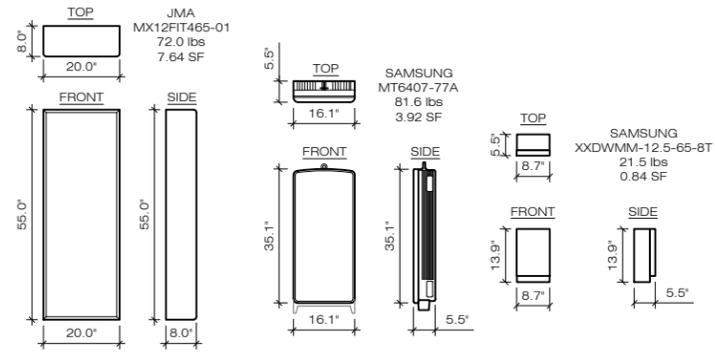
1 ALPHA ANTENNA MOUNT
A-2 SCALE: 1/4" = 1'-0"



2 ANTENNA MOUNTING DETAIL
A-2 SCALE: 1/2" = 1'-0"

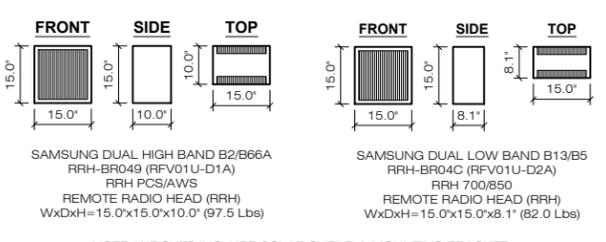


3 BRACKET DETAIL
A-2 SCALE: 1" = 1'-0"



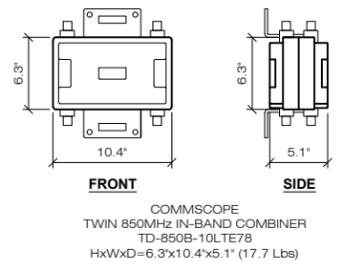
PANEL ANTENNAS

4 ANTENNA DETAILS
A-2 SCALE: 1/2" = 1'-0"

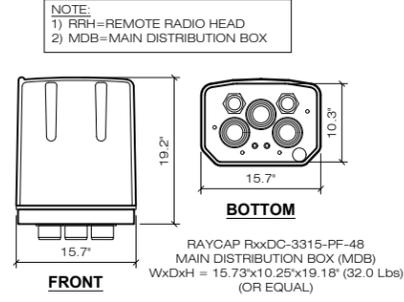


NOTE: WEIGHTS INCLUDE SOLAR SHIELD & MOUNTING BRACKET

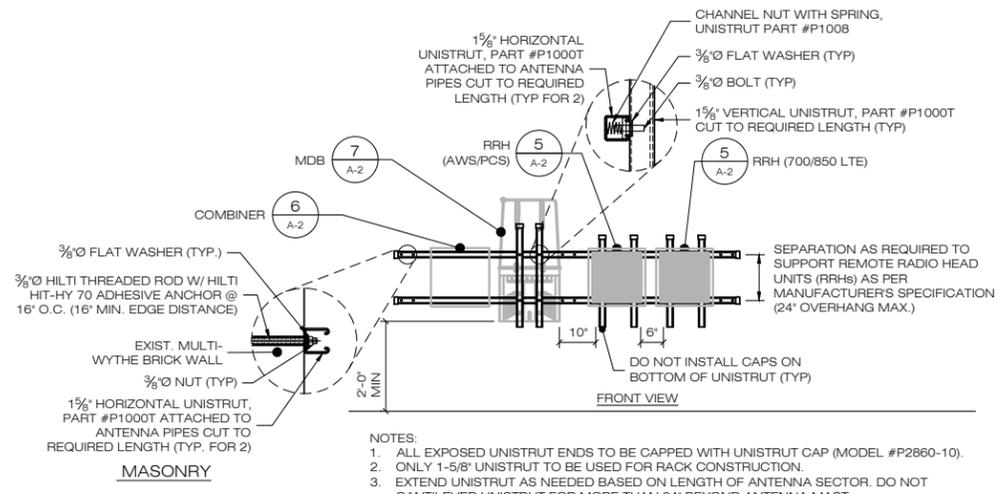
5 RRH EQUIPMENT
A-2 SCALE: 1/2" = 1'-0"



6 COMBINER DETAIL
A-2 SCALE: 1" = 1'-0"

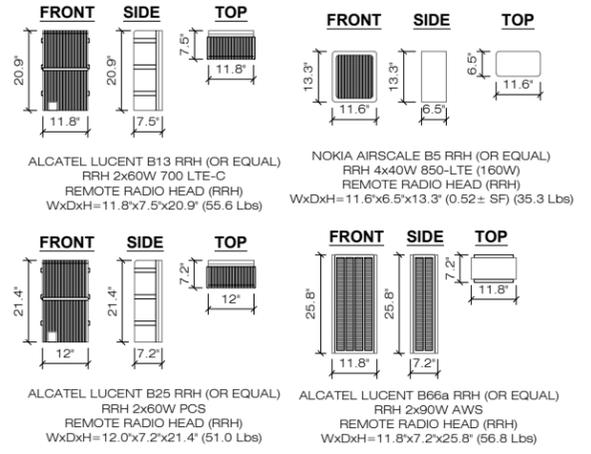


7 MAIN DISTRIBUTION BOX
A-2 SCALE: 1" = 1'-0"

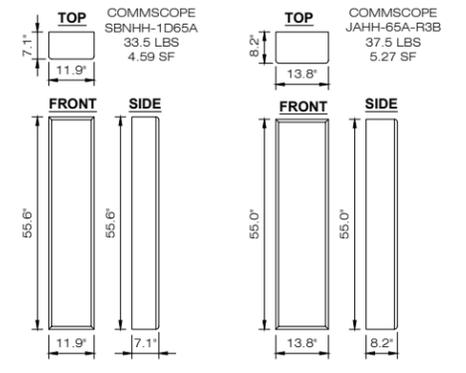


- NOTES:
- ALL EXPOSED UNISTRUT ENDS TO BE CAPPED WITH UNISTRUT CAP (MODEL #P2860-10).
 - ONLY 1-5/8" UNISTRUT TO BE USED FOR RACK CONSTRUCTION.
 - EXTEND UNISTRUT AS NEEDED BASED ON LENGTH OF ANTENNA SECTOR. DO NOT CANTILEVER UNISTRUT FOR MORE THAN 24" BEYOND ANTENNA MAST.
 - FOR HORIZONTAL SPANS GREATER THAN 5'-0" USE UNISTRUT PART #P1001T.

8 MDB/RRH EQUIPMENT MOUNT
A-2 SCALE: N.T.S.



9 EXISTING RRH DETAILS
A-2 SCALE: 1/2" = 1'-0"



10 EXISTING ANTENNA DETAILS
A-2 SCALE: 1/2" = 1'-0"

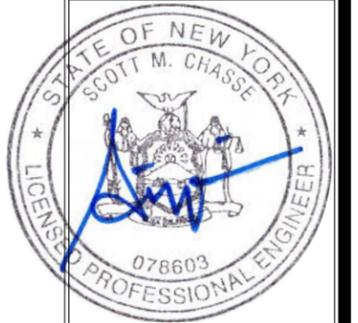
verizon
4 CENTEROCK ROAD
WEST NYACK, NY 10994

APT ENGINEERING

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WWW.ALLPOINTSTECH.COM FAX: (860)-663-0635

PERMIT DOCUMENTS

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DESIGN PROFESSIONALS OF RECORD
PROF: SCOTT M. CHASSE P.E.
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OWNER: BLIND BROOK LODGE
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VERIZON AT "RYE PLAYLAND"
SITE 66 MILTON ROAD
ADDRESS: RYE, NY 10580
APT FILING NUMBER: NY141LS62390
VZ FUZE ID: 16232198
VZ LOCATION CODE: 145305
DATE: 01/14/22
DRAWN BY: ELZ
CHECKED BY: THK

SHEET TITLE:
ANTENNA & EQUIPMENT DETAILS

SHEET NUMBER:
A-2

LAW OFFICES OF
SNYDER & SNYDER, LLP
94 WHITE PLAINS ROAD
TARRYTOWN, NEW YORK 10591

NEW YORK OFFICE
445 PARK AVENUE, 9TH FLOOR
NEW YORK, NEW YORK 10022
(212) 749-1448
FAX (212) 932-2693

LESLIE J. SNYDER
ROBERT D. GAUDIOSO

DAVID L. SNYDER
(1956-2012)

(914) 333-0700
FAX (914) 333-0743

WRITER'S E-MAIL ADDRESS

Msheridan@snyderlaw.net

NEW JERSEY OFFICE
ONE GATEWAY CENTER, SUITE 2600
NEWARK, NEW JERSEY 07102
(973) 824-9772
FAX (973) 824-9774

REPLY TO:

Tarrytown Office

February 18, 2022

Kerry Lenihan, Building Inspector
City of Rye
1051 Boston Post Road
Rye, New York 10580

Re: NY-Rye Playland
New York SMSA Limited Partnership d/b/a Verizon Wireless
Building Permit Application for Antenna Work at the Existing
Public Utility Wireless Telecommunications Services Facility
at the Property Known as 66 Milton Road, City of Rye, NY

Dear Mr. Lenihan:

We are the attorneys for New York SMSA Limited Partnership d/b/a Verizon Wireless ("Verizon Wireless") in connection with its request to perform certain antenna work on the existing wireless telecommunication services facility at the captioned site, as indicated on the enclosed drawings ("Antenna Work").

In connection with the foregoing, I have enclosed the following documents:

1. Building Permit Application, signed by Verizon Wireless;
2. Signed and sealed set of plans depicting the Antenna Work, prepared by All-Points Technology ("APT"), Verizon Wireless' engineer in connection with this matter, and;
3. Certificates of insurance from Verizon Wireless' construction contractor.

Please note that Section 6409 of the Federal Middle Class Tax Relief and Job Creation Act of 2012 ("TRA"), states that a local government "may not deny, and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station." Furthermore, the Federal Communications Commission adopted rules ("FCC Rules") implementing Section 6409 of TRA. See Title 47 C.F.R Section 1.6100. Under the FCC Rules, if a wireless facility is an eligible facilities

request, review is limited in scope and the facility must be approved within 60 days of the filing of the application. *The proposed Antenna Work at the Property is eligible facilities request pursuant to the TRA and FCC Rules since it involves the collocation/replacement of transmission equipment that does not constitute a "substantial change."* Accordingly, Verizon Wireless' application should be approved forthwith.

We thank you for your consideration. Please let me know when the building permit will be ready. If you have any questions or require any additional documentation, please do not hesitate to contact me at (914) 333-0700.

Respectfully submitted,
Snyder & Snyder, LLP

By: 
Michael P. Sheridan, Esq.

MS/gm

cc: Verizon Wireless



Building Permit Application

City of Rye, New York Building Department

1051 Boston Post Road, Rye, New York 10580

Building@ryeny.gov

(914) 967-7372

www.ryeny.gov

Permit Type (Check Applicable Box):

One- and Two-Family:		Other:	
<input type="checkbox"/>	New Construction	<input type="checkbox"/>	Interior Building*
<input type="checkbox"/>	Addition/Alteration	<input type="checkbox"/>	Modification of Approved Permit/Plans
Multi-Family and Commercial:		<input type="checkbox"/>	Extension of Approved Building Permit*
<input type="checkbox"/>	New Construction	<input type="checkbox"/>	Re-roofing**
<input checked="" type="checkbox"/>	Addition/Alteration	Value of Improvement:	
<input type="checkbox"/>	Change of Tenant Occupancy**	\$	30,000
<input type="checkbox"/>	Temporary Tent**		

* Complete Sections A thru H only., **Complete Sections A, B, C, D, E and H only

A. Property Information:

Street Address: 66 Milton Road

Property Area (Acres): N/A

Tax Map Designation: Sheet: 146 Block: 11 Lot(s): 73

Sheet: _____ Block: _____ Lot(s): _____

Zoning District: RA-3

Current Use: Public Utility Wireless Telecommunications Facility

Proposed Use: No Change

Flood Insurance Zone: NONE Elevation: 30

Prior Bldg. Permit No. _____ *Required for Modifications and Extensions only*

B. Architect/Engineer/Applicant Representative:

Name: New York SMSA Limited Partnership d/b/a Verizon Wireless

Address: c/o Snyder & Snyder LLP, 94 White Plains Road

City: Tarrytown State: NY Zip: 10591

Phone: 914-333-0700 Email: msheridan@snyderlaw.net

C. Contractor:

Name: Squan Construction Services LLC West. Co. Lic. #: _____

Address: 193 Veterans Boulevard

City: Carlstadt State: NJ Zip: 07072

Phone: 201-463-0006 Email: _____

NOTE: Please attach hereto, contractors insurance, (naming the City of Rye as certificate holder and additionally insured) including liability and Form NYS C105 workers compensation (NYS 105) (or a signed New York State compensation waiver).

For Building Department Use Only:

Application Receipt Date:

--



Building Permit Application

City of Rye, New York Building Department

D. Property Owner/Applicant:

Name*: Blind Brook Lodge Owners, Inc.
Address: c/o RMR Residential Realty LLC, 76 Lexington Ave
City: White Plains State: NY Zip: 10606
Phone: _____ Email: _____

* If owner or applicant is an LLC, please provide name of principal and contact information.

E. Project Description: (Please describe the proposed project).

Antenna replacement and installation and related improvements.

F. Regulatory Compliance:

1. Is the project located in a flood zone or floodway?
(If yes, Chapter 100. Floodplain Management, may apply) Yes No N/A
2. Is the project a Protected Structure or within a Preservation District?
(If yes, Chapter 117. Landmarks Preservation, may apply) Yes No N/A
3. Is a fence or wall proposed as part of the application?
(If yes, Chapter 90. Fences and Walls, may apply) Yes No
4. Is the property located within a designated coastal area boundary?
(If yes, Chapter 73. Coastal Zone Management, may apply) Yes No N/A
5. Is the property located within 100 feet of a wetland?
(If yes, Chapter 195. Wetlands and Watercourses, may apply) Yes No N/A
6. Is any land disturbing activity proposed greater than 300 square feet?
(If yes, Please complete an Engineering Review Form as required by Chapter 174. Stormwater Management, of the Rye City Code) Yes No
7. Is any tree removal proposed?
(If yes, Chapter 187. Trees may apply) Yes No
8. Is any signage proposed?
(If yes, Chapter 165. Signs may apply) Yes No
9. Would the project change the exterior appearance of the structure?
(If yes, Chapter 153. Architectural Review applies. Please complete the Board of Architectural Review Application attached hereto.) Yes No N/A*

* As noted on the plans submitted simultaneously herewith, all mounts, antennas, equipment and cabling will be painted to match the exterior building facade. As such, the project will not change the exterior appearance of the structure.



Building Permit Application

City of Rye, New York Building Department

G. Zoning Compliance:

Applicants are responsible for their applications to be compliant with all requirements of Chapter 197, Zoning, of the Rye City Code. To assist the City in assessing compliance, please complete the table below and include on the first page of the plan submission. This table includes many, but not all of the bulk and dimensional requirements of the City Zoning Code. Please visit www.ryeny.gov for entire Code.

RA-3 Zoning District:	Allowed/Required ¹	Existing	Proposed ²
Principal Building(s):			
Lot Area (in square feet)			
Floor Area Ratio³			
First Floor Area	n/a		
Second Floor Area	n/a		
Attic Floor Area	n/a		
Other Area ⁴	n/a		
Total Floor Area			
F.A.R. ⁵			
Yard Setbacks			
Front Yard			
Shortest Side Yard			
Total of Two Side Yards			
Rear Yard			
Lot Width			
Height/Stories			
Number of Stories			
Building Height			
First Floor Elevation ⁶			
Parking			
Number of Spaces			
Closest Side Yard Setback			
Accessory Building(s):			
Floor Area			
Front Yard Setback			
Closest Side Yard Setback			
Rear Yard Setback			
Max. Rear Yard Coverage	0.0%	0.0%	0.0%
Number of Stories			
Building Height			

¹ Carefully review all sections of Article V of the City Zoning Code **AND** footnotes included in Tables A, B and C.
² Provide copies, if any, of all variances issued for the property regardless of whether they are related to the project.
³ Floor area diagram of every floor (and accessory building(s)) is required for all new construction and additions.
⁴ Shall include other floors (if applicable) and all existing and proposed accessory building(s) on the property.
⁵ F.A.R. shall be rounded to not more than three (3) decimal places (e.g. 0.256)
⁶ For single-family residential buildings see Section 197-46.1.



Building Permit Application

City of Rye, New York Building Department

H. Affidavit

State of New York
County of Westchester

Ashley Cataldi on behalf of New York SMSA Limited Partnership d/b/a Verizon Wireless
I, _____ (please print), being duly sworn, depose and say that I am the owner (lessee, engineer, surveyor, architect, builder, or agent of the owner) in fee of the premises to which this application applies; that I (the applicant) is duly authorized to make this application and that the statements contained in the papers submitted herein are true to the best of his knowledge and belief, and that the work will be performed in the manner of set forth in the application and in the plans and specification filed therewith, and in accordance with State Uniform Building Code and all other applicable laws, ordinances and regulations of the municipality.

The signature of the applicant also grants consent to having relevant City Staff or City Board or Commission members responsible for of the review or approval of this application(s) to enter the property of the subject application.

NEW YORK SMSA LIMITED PARTNERSHIP D/B/A VERIZON WIRELESS

By: Ashley Cataldi
Signature of Applicant

SWORN to before me this 17th day of February, 2022.

[Signature]
Notary Public



Note: For additional information and a complete description of the Department's building permit process and submission requirements please visit the Building Department page of the City's website at www.ryenyc.gov/government/building-department.



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

1/21/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Hub International Northeast 180 River Road, 2nd Floor Summit NJ 07901	CONTACT NAME: Lilian Martinez PHONE (A/C, No, Ext): 908-790-6879 E-MAIL ADDRESS: Lilian.Martinez@hubinternational.com	FAX (A/C, No): 908-934-9222
	INSURER(S) AFFORDING COVERAGE	
INSURED Squan Construction Services LLC Communications Specialists, Inc. 193 Veterans Boulevard Carlstadt NJ 07072	SQUACON-02	
	INSURER A: Travelers Property Casualty Company of America NAIC # 25674	
	INSURER B: The Phoenix Insurance Company NAIC # 25623	
	INSURER C: GuideOne National Insurance Company NAIC # 14167	
	INSURER D: Charter Oak Fire Insurance Company NAIC # 25615	
	INSURER E: Starr Indemnity and Liability NAIC # 38318	
INSURER F: Navigators Insurance Company NAIC # 42307		

COVERAGES

CERTIFICATE NUMBER: 1028469437

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> XCU Included GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:	Y Y	DT-CO-8S546357-TIL-22	1/1/2022	1/1/2023	EACH OCCURRENCE \$ 2,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 2,000,000 GENERAL AGGREGATE \$ 4,000,000 PRODUCTS - COMP/OP-AGG \$ 4,000,000 \$
B	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY	Y Y	8108S4655942226G	1/1/2022	1/1/2023	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
C A E F E	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$	Y Y	099002338 EX-0T843366-22-NF 1000587543221 NY22EXCZ06Y1DIV	1/1/2022 1/1/2022 1/1/2022 1/1/2022	1/1/2023 1/1/2023 1/1/2023 1/1/2023	EACH OCCURRENCE \$ 20,000,000 AGGREGATE \$ 20,000,000 \$
D	<input checked="" type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y N/A	UB-8S551620-22-26-G	1/1/2022	1/1/2023	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Coverage Continued:

Professional Liability
 Insurer: Colony Insurance Company - NAIC #39993
 Policy No. CPLUS4266827
 Policy Term: 12/21/21 - 1/1/23
 Each Claim Limit: \$2,000,000
 Aggregate Limit: \$10,000,000
 See Attached...

CERTIFICATE HOLDER**CANCELLATION**

City of Rye
 1051 Boston Post Road
 Rye NY 10580

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE



ADDITIONAL REMARKS SCHEDULE

AGENCY Hub International Northeast		NAMED INSURED Squan Construction Services LLC Communications Specialists, Inc. 193 Veterans Boulevard Carlstadt NJ 07072	
POLICY NUMBER		EFFECTIVE DATE:	
CARRIER	NAIC CODE		

ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,
FORM NUMBER: 25 FORM TITLE: CERTIFICATE OF LIABILITY INSURANCE

Pollution Liability
 Insurer: Colony Insurance Company - NAIC #39993
 Policy No. CPLUS4266827
 Policy Term: 12/21/21 - 1/1/23
 Each Pollution Condition Limit: \$5,000,000

Installation Floater
 Insurer: Hanover Insurance Company - NAIC #22292
 Policy No. RHYH360481-01
 Policy Term: 01/01/22 - 01/01/23
 Limit: \$1,000,000

Re: LS6 - 16232198 - Rye Playland

Certificate Holder is included as additional insured as required by written contract or agreement.



Workers' Compensation Board

**CERTIFICATE OF
NYS WORKERS' COMPENSATION INSURANCE COVERAGE**

<p>1a. Legal Name & Address of Insured (use street address only) Squan Construction Services LLC 193 Veterans Boulevard Carlstadt, NJ 07072</p> <p>Work Location of Insured <i>(Only required if coverage is specifically limited to certain locations in New York State, i.e., a Wrap-Up Policy)</i></p>	<p>1b. Business Telephone Number of Insured 201-408-5111</p> <p>1c. NYS Unemployment Insurance Employer Registration Number of Insured</p> <p>1d. Federal Employer Identification Number of Insured or Social Security Number 20-4224437</p>
<p>2. Name and Address of the Entity Requesting Proof of Coverage (Entity Being Listed as the Certificate Holder)</p> <p>City of Rye 1051 Boston Post Road Rye, NY 10580</p>	<p>3a. Name of Insurance Carrier Charter Oak Fire Insurance Co.</p> <p>3b. Policy Number of entity listed in box "1a" UB-8S551620-22-26-G</p> <p>3c. Policy effective period <u>1/1/2022</u> to <u>1/1/2023</u></p> <p>3d. The Proprietor, Partners or Executive Officers are <input checked="" type="checkbox"/> included. (Only check box if all partners/officers included) <input type="checkbox"/> all excluded or certain partners/officers excluded.</p>

This certifies that the insurance carrier indicated above in box "3" insures the business referenced above in box "1a" for workers' compensation under the New York State Workers' Compensation Law. **(To use this form, New York (NY) must be listed under Item 3A on the INFORMATION PAGE of the workers' compensation insurance policy).** The Insurance Carrier or its licensed agent will send this Certificate of Insurance to the entity listed above as the certificate holder in box "2".

Will the carrier notify the certificate holder within 10 days of a policy being cancelled for non-payment of premium or within 30 days if cancelled for any other reason or if the insured is otherwise eliminated from the coverage indicated on this certificate prior to the end of the policy effective period? YES NO

This certificate is issued as a matter of information only and confers no rights upon the certificate holder. This certificate does not amend, extend or alter the coverage afforded by the policy listed, nor does it confer any rights or responsibilities beyond those contained in the referenced policy.

This certificate may be used as evidence of a Workers' Compensation contract of insurance only while the underlying policy is in effect.

Please Note: Upon cancellation of the workers' compensation policy indicated on this form, if the business continues to be named on a permit, license or contract issued by a certificate holder, the business must provide that certificate holder with a new Certificate of Workers' Compensation Coverage or other authorized proof that the business is complying with the mandatory coverage requirements of the New York State Workers' Compensation Law.

Under penalty of perjury, I certify that I am an authorized representative or licensed agent of the insurance carrier referenced above and that the named insured has the coverage as depicted on this form.

Approved by: Lilian Martinez
(Print name of: _____) _____
representative or licensed agent of insurance carrier)

Approved by: _____ Lilian Martinez _____
(Signature) (Date)

Title: HUB International - Assistant Vice President

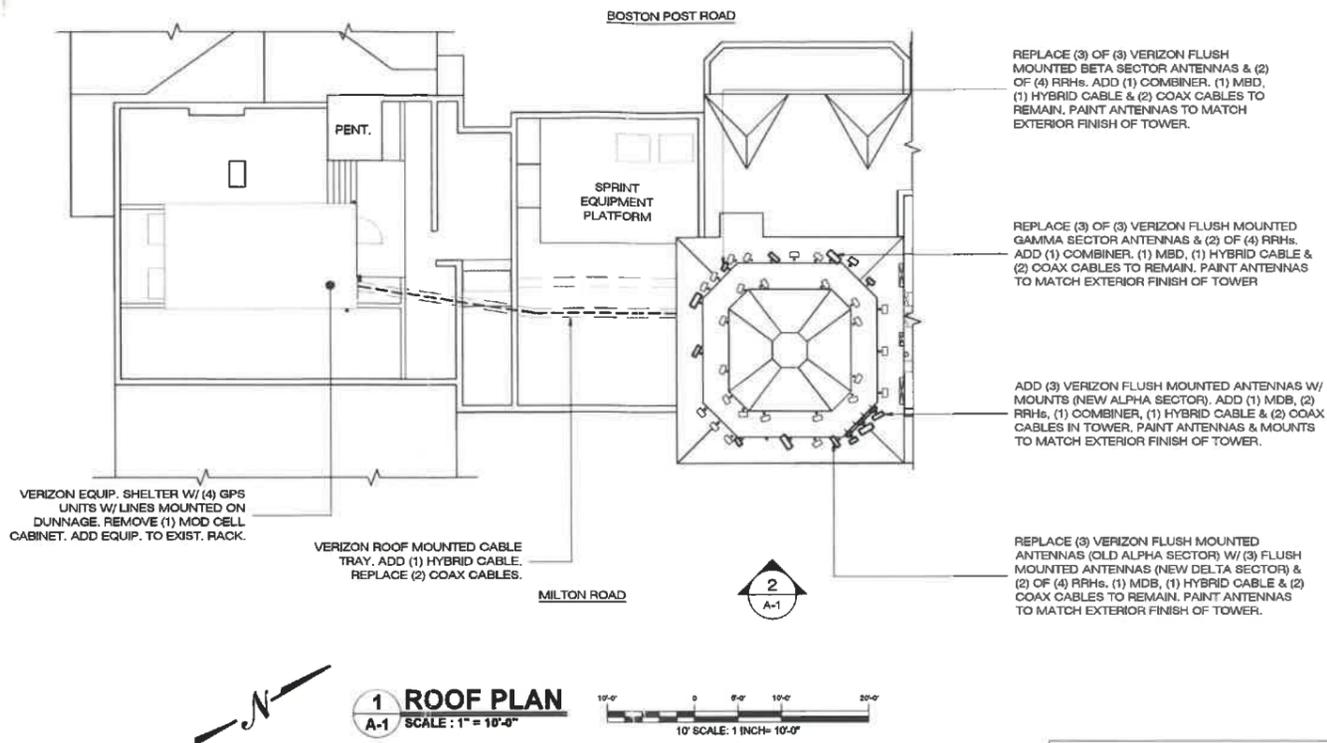
Telephone Number of authorized representative or licensed agent of insurance carrier: 908-790-6879

Please Note: Only insurance carriers and their licensed agents are authorized to issue Form C-105.2. Insurance brokers are NOT authorized to issue it.

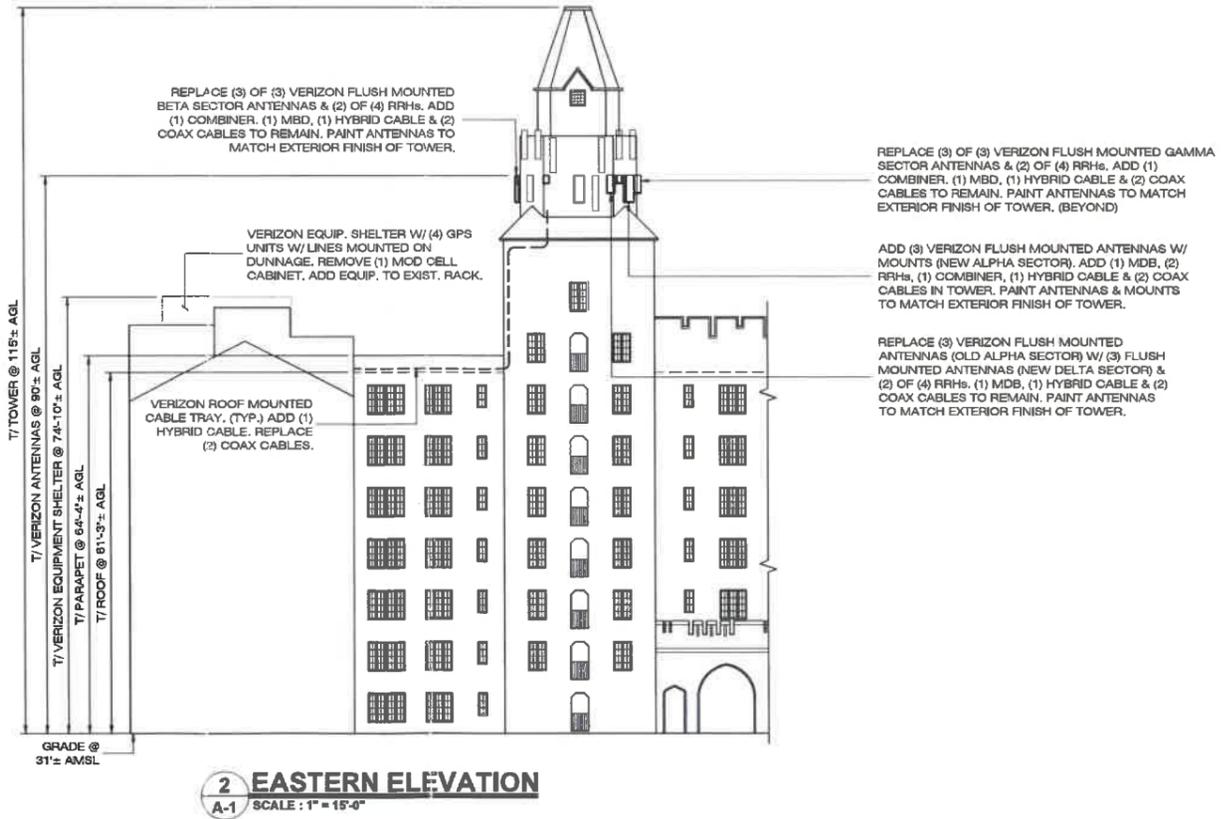
Workers' Compensation Law

Section 57. Restriction on issue of permits and the entering into contracts unless compensation is secured.

1. The head of a state or municipal department, board, commission or office authorized or required by law to issue any permit for or in connection with any work involving the employment of employees in a hazardous employment defined by this chapter, and notwithstanding any general or special statute requiring or authorizing the issue of such permits, shall not issue such permit unless proof duly subscribed by an insurance carrier is produced in a form satisfactory to the chair, that compensation for all employees has been secured as provided by this chapter. Nothing herein, however, shall be construed as creating any liability on the part of such state or municipal department, board, commission or office to pay any compensation to any such employee if so employed.
2. The head of a state or municipal department, board, commission or office authorized or required by law to enter into any contract for or in connection with any work involving the employment of employees in a hazardous employment defined by this chapter, notwithstanding any general or special statute requiring or authorizing any such contract, shall not enter into any such contract unless proof duly subscribed by an insurance carrier is produced in a form satisfactory to the chair, that compensation for all employees has been secured as provided by this chapter.



NOTE:
PAINT ALL MOUNTS, ANTENNAS, EQUIPMENT & CABLING TO MATCH EXTERIOR BUILDING FACADE.



SUBJECT SITE:
66 MILTON ROAD
RYE, NY 10580
SECTION: 146; BLOCK: 11; LOT: 73

verizon
4 CENTEROCK ROAD
WEST NYACK, NY 10994

APT ENGINEERING

567 VAUXHALL STREET EXTENSION - SUITE 311
WATERFORD, CT 06385 PH: (860)-553-1697
WWW.ALLPOINTSTECH.COM FAX: (860)-553-0835

PERMIT DOCUMENTS

NO	DATE	REVISION
0	01/14/22	FOR PERMIT: THK
1	01/20/22	FOR PERMIT: THK
2		
3		
4		
5		
6		



DESIGN PROFESSIONALS OF RECORD

PROF: SCOTT M. CHASSE P.E.
COMP: APT ENGINEERING
ADD: 567 VAUXHALL STREET
EXTENSION - SUITE 311
WATERFORD, CT 06385

OWNER: BLIND BROOK LODGE
ADDRESS: OWNERS, INC.
66 MILTON ROAD
RYE, NY 10580

NOTE:
IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209 (2) FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THE SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

VERIZON AT "RYE PLAYLAND"

SITE: 66 MILTON ROAD
ADDRESS: RYE, NY 10580

APT FILING NUMBER: NY141LS62390

VZ FUZE ID: 16232198

VZ LOCATION CODE: 145305

DATE: 01/14/22 DRAWN BY: ELZ CHECKED BY: THK

SHEET TITLE:
PLAN & ELEVATION

SHEET NUMBER:
A-1









CITY COUNCIL AGENDA

DEPT.: City Manager

DATE: June 8, 2022

CONTACT: Greg Usry, City Manager

AGENDA ITEM: Resolution consenting to the appointment of Mr. John B. Colangelo to the Emergency Medical Services Committee as the Village of Port Chester community representative.

FOR THE MEETING OF:

June 15, 2022

RECOMMENDATION: That the Council approve the appointment.

IMPACT: Environmental Fiscal Neighborhood Other:

BACKGROUND:

The Inter-Municipal Agreement between the Village of Rye Brook, City of Rye and Village of Port Chester for emergency medical services established the Emergency Medical Services Committee (EMSC). Section 3A of the Inter-Municipal Agreement, Establishes community representatives from each of the participating municipalities be proposed by the Corps and ratified by each of the municipalities for a 3-year term. The City of Rye community representative has one more year on his term.

See attached resolution proposing the community representative for the Village of Port Chester.

June 14, 2022

RESOLUTION

**CONSIDERING THE APPOINTMENT OF MR. JOHN B. COLANGELO
TO THE EMERGENCY MEDICAL SERVICES COMMITTEE**

WHEREAS, the Inter-Municipal Agreement between the Village of Rye Brook, City of Rye and Village of Port Chester for emergency medical services established the Emergency Medical Services Committee (EMSC); and

WHEREAS, pursuant to Section 3A of the Inter-Municipal Agreement establishes community representatives from each of the participating municipalities to be proposed by the Corps and ratified by each of the municipalities; and

WHEREAS, in a letter dated June 2, 2022 from Kenny Barton, Administrator, John B. Colangelo has been recommended by the Corp as the community representative of the Village of Port Chester; and

WHEREAS, on June 6, 2022 the Board of Trustees of the Village of Port Chester ratified the appointment of Mr. John B. Colangelo to the Emergency Medical Services Committee by resolution

NOW, THEREFORE BE IT RESOLVED, that the Board of Trustees hereby approves the appointment of Mr. John B. Colangelo to the Emergency Medical Services Committee as the Community Representative of the Village of Port Chester.



CITY COUNCIL AGENDA

DEPT.: City Manager

DATE: June 8, 2022

CONTACT: Greg Usry, City Manager

AGENDA ITEM: Resolution consenting to the appointment of Mr. Michael Borelli to the Emergency Medical Services Committee as the Village of Rye Brook community representative.

FOR THE MEETING OF:

June 15, 2022

RECOMMENDATION: That the Council approve the appointment.

IMPACT: Environmental Fiscal Neighborhood Other:

BACKGROUND:

The Inter-Municipal Agreement between the Village of Rye Brook, City of Rye and Village of Port Chester for emergency medical services established the Emergency Medical Services Committee (EMSC). Section 3A of the Inter-Municipal Agreement, Establishes community representatives from each of the participating municipalities be proposed by the Corps and ratified by each of the municipalities for a 3-year term. The City of Rye community representative has one more year on his term.

See attached resolution proposing the community representative for the Village of Rye Brook

On a motion made by Trustee Heiser and seconded by Trustee Fischer the following resolution was adopted.

RESOLUTION

**CONSIDERING THE APPOINTMENT OF THE RYE BROOK COMMUNITY REPRESENTATIVE
TO THE
EMERGENCY MEDICAL SERVICES COMMITTEE**

WHEREAS, the Inter-Municipal Agreement between the Village of Rye Brook, City of Rye and Village of Port Chester for emergency medical services established the Emergency Medical Services Committee (EMSC); and

WHEREAS, pursuant to Section 3A of the Inter-Municipal Agreement establishes community representatives from each of the participating municipalities to be proposed by the Corps and ratified by each of the municipalities; and

WHEREAS, in a letter dated December 6, 2021 from Scott T. Moore, EMS Administrator, Mr. Michael Borelli has been recommended by the Corp as the community representative of the Village of Rye Brook.

NOW, THEREFORE BE IT RESOLVED, that the Board of Trustees hereby approves the appointment of Mr. Michael Borelli to the Emergency Medical Services Committee as the Community Representative of the Village of Rye Brook for a three (3) year term that began on June 1, 2021.

TRUSTEE EPSTEIN	ABSENT
TRUSTEE FISCHER	AYE
TRUSTEE HEISER	AYE
TRUSTEE KLEIN	ABSENT
MAYOR ROSENBERG	AYE

State of New York
County of Westchester
Village of Rye Brook } ss:

I hereby certify that this is the Resolution adopted by the Board of Trustees of the Village of Rye Brook which was duly passed by said Board on December 14, 2021

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Seal of the Village of Rye Brook, this 16th day of December 2021



Village Clerk



CITY COUNCIL AGENDA

DEPT.: City Manager

DATE: June 2, 2022

CONTACT: Greg Usry, City Manager

AGENDA ITEM: Consideration of a request by the Municipal Boat Basin to have a food truck at its National Marina Day Event on July 17, 2022 from 1:00 pm to 3:00 pm with a rain date of July 31, 2022 in coordination with high tide. This event will consist of activities for children with a food and ice cream truck as well as live music.

FOR THE MEETING OF:

June 15, 2022

RECOMMENDATION: That the Council approve the request.

IMPACT: Environmental Fiscal Neighborhood Other:

BACKGROUND: See attached request from Boat Basin Supervisor, Rodrigo Paulino regarding the National Marina Day event.

The City Council will have to waive § 144-8D and G of the City Code.

§ 144-8 Restrictions states that licensed hawker, peddler or solicitor shall:

D. Not stand nor permit the vehicle used by him or her to stand in one place in any public place or street for more than 10 minutes or in front of any premises for any time if the owner or lessee of the ground floor thereof objects.

G. Not create or maintain any booth or stand, or place any barrels, boxes, crates or other obstructions, upon any street or public place for the purpose of selling or exposing for sale any goods, wares or merchandise.

Rodrigo Paulino
Boat Basin Supervisor
650 Milton Rd
Rye, New York 10580



Tel: (914) 967-2011
E-mail: Rpaulino@ryeny.gov
<http://www.ryeny.gov>

Boat Basin

Memorandum

To: Greg Usry, City Manager
From: Rodrigo Paulino, Boat Basin Supervisor
Date: 6/8/2022
Re: National Marina Day

The Rye Boat Basin would like to host for the first time, a National Marina Day Event on July 17, 2022 from 1:00pm to 3:00pm with a rain date of July 31, 2022 in coordination with high tide.

This event will consist of activities for children with a food and ice cream truck. We are trying to coordinate live music with the local high school band and are waiting to hear if they are interested in participating.

The local Police and Fire department will be contacted as well, in hopes that they can provide a car/truck/boat for display.

We are hoping that this will become a yearly event at the marina for slip holders and residents to enjoy.



CITY COUNCIL AGENDA

DEPT.: City Manager's Office

DATE: June 9, 2022

CONTACT: Greg Usry, City Manager

AGENDA ITEM: Consideration of a request by Christ's Church to switch the date of the use of Rectory Street from for CCNS Fall Family Day from 10/15/22 to 10/22/22 due to a conflict with Novel Night. The time would stay the same: 8am - 5pm.

FOR THE MEETING OF:

June 15, 2022

RECOMMENDATION: That the City Council approve the request from Christ's Church.

IMPACT: Environmental Fiscal Neighborhood Other:

BACKGROUND: Christ's Church needs to change the date of the approved request to use Rectory Street for CCNS Fall Family Day from 10/15/22 to 10/22/22 due to a conflict with Novel Night.